

PROJECT INFORMATION:

APPLICANT:	DESKINS, RYAN 1951 STATE ROUTE 6, CHEHALIS, WA 98532
SITE ADDRESS:	6411 198TH AVE SW, ROCHESTER, WA 98579
PARCEL NUMBER:	51300100000
ZONING (CITY):	R3-6/1
LOTS:	1 EXISTING & 7 PROPOSED SINGLE FAMILY
SITE SOILS:	SPANAWAY GRAVELLY SANDY LOAM, 0 TO 3% SLOPES
WATER:	WELL
SANITARY SEWER:	SEPTIC TANK
GRADING:	82± CY FILL 21± CY CUT

SURVEY INFORMATION:

LEGAL DESCRIPTION
SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT
GRAND VALLEY FRUIT & GARDEN TRACTS SS-2043 LT 1
DOCUMENT 008/100

BASIS OF BEARING
SHORT SUBDIVISION SS-2043 AS RECORDED IN VOLUME 20 OF
SHORT PLATS AT PAGE 534 UNDER AUDITORS FILE NUMBER
8508150005

VERTICAL DATUM
NVGD88

GEOTECHNICAL INFORMATION:

A GEOTECHNICAL REPORT WAS NOT PREPARED FOR THIS
PROJECT. IN LIEU OF A REPORT ALL CONSTRUCTION SHALL
COMPLY WITH STANDARD SPECIFICATIONS.

TOPOGRAPHIC INFORMATION:

TOPOGRAPHIC INFORMATION DEPICTED IN THESE DRAWINGS WAS
PROVIDED BY LEWIS COUNTY GIS DATA & XXXX. TOPOGRAPHIC
INFORMATION WAS NOT FIELD VERIFIED BY FULLER DESIGNS.

LEGEND:

LINETYPES:

EXISTING	PROPOSED	DESC.
----	----	LOT LINE
----	----	EASEMENT
—X—X—	—□—□—	FENCING
----	----	DITCH/WETLAND
----	----	ROAD CENTERLINE
----	----	RIGHT OF WAY
----	----	EDGE OF PAVEMENT
----	----	EDGE OF GRAVEL
----	----	BUILDING
----	----	BUILDING SETBACKS
—XX—	—XX—	CONTOUR LINE (MAJOR)
—E—	—E—	CONTOUR LINE (MINOR)
—OE—	—OE—	ELECTRICAL UNDERGROUND
—OT—	—OT—	ELECTRICAL OVERHEAD
—G—	—G—	TELECOMMUNICATION
—W—	—W—	GAS MAIN
—SS—	—SS—	WATER MAIN
—VS—	—VS—	SEWER MAIN
—FM—	—FM—	VACUM SEWER
—ST—	—ST—	FORCE MAIN
----	----	STORM MAIN
----	----	SILT FENCE
----	----	PROJECT AREA

SYMBOLS:

EXISTING	PROPOSED	DESC.
XXXX	XXXX	SURFACE FLOW
○	●	SPOT ELEVATION
○	□	SEWER MANHOLE
□	⊙	VACUUM SEWER BUFFER TANK
□	■	STORM MANHOLE
□	■	CATCH BASIN
□	⊗	POWER METER BOX
□	○	WELL
□	□	WATER METER BOX
□	□	VALVE
○	○	HYDRANT
○	○	BOLLARD
○	○	POLE
○	○	TREE
→	→	FLOW DIRECTION ARROW
X	X	LOT NUMBER

HATCH:

EXISTING	PROPOSED	DESC.
▒	▒	ASPHALT PAVEMENT
▒	▒	GRAVEL AREA
▒	▒	CONCRETE SIDEWALK

ABBREVIATIONS:

AC	ASPHALT CONCRETE
BCR	BEGIN CURB RETURN
BM	BENCHMARK
BVCS	BEGIN VERTICAL CURVE STATION
BOVE	BEGIN VERTICAL CURVE ELEVATION
CATV	CABLE TELEVISION
CB	CATCH BASIN
CL	CENTERLINE
OMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CY	CUBIC YARD
°	DEGREES
Ø	DIAMETER
EE	ELECTRICAL
ECR	END CURB RETURN
EL	ELEVATION
EOP	EDGE OF PAVEMENT
EVCS	END VERTICAL CURVE STATION
EVCE	END VERTICAL CURVE ELEVATION
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCE MAIN
G	GAS
GB	GRADE BREAK
GM	GAS METER
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
IE	INVERT ELEVATION
K	CALCULATED CURVE VALUE
L	LENGTH
LCV	LENGTH VERTICAL CURVE
LF	LINEAR FEET
M	METER
MH	MAN HOLE
MJ	MECHANICAL JOINT
NFC	NOT FOR CONSTRUCTION
OHP	OVER HEAD POWER
P	POWER
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
POB	POINT OF BEGINNING
POC	POINT OF CONNECTION
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLY-VINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
RFC	RELEASED FOR CONSTRUCTION
ROW	RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
S	SLOPE
SF	SQUARE FOOT
SD	STORM DRAIN
SS	SANITARY SEWER
ST	STORM
STA	STATION
SW	SIDEWALK
T	TELEPHONE
TB	TRUST BLOCK
TC	TOP OF CURB/CONCRETE
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TG	TOP OF GRATE
TYP	TYPICAL
UGP	UNDERGROUND POWER
W	WATER
WM	WATER METER
WV	WATER VALVE
±	APPROXIMATELY
%	PERCENT
Δ	DELTA

DRAWING CONTENTS:

- C0.1 – CIVIL COVER SHEET
- C1.1 – OVERALL SITE AND TESC PLAN
- C1.2 – EROSION CONTROL NOTES AND DETAILS
- C2.1 – ROADWAY PLAN AND PROFILE
- C2.2 – 198TH FRONTAGE IMPROVEMENT AND LIGHTING PLAN
- C2.3 – DRAINAGE PLAN
- C2.4 – ROADWAY DETAILS
- C2.5 – DRAINAGE DETAILS
- C3.1 – SEWER PLAN AND PROFILE
- C3.2 – SEWER DETAILS
- C4.1 – WATER PLAN AND PROFILE
- C4.2 – WATER DETAILS

DESKIN GRAND MOUND SITE

SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT
ROCHESTER, WASHINGTON

VICINITY MAP



UTILITIES LOCATE NOTE:

EXISTING UTILITIES LOCATION SHOWN IN THIS PLAN SET IS BASED
ON INFORMATION OBTAINED FROM VARIOUS RECORDS RESEARCH,
ASBUILT DATA, AND FIELD MEASUREMENTS. FULLER DESIGNS
ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF UTILITIES
EITHER SHOWN OR NOT SHOWN IN THESE DRAWINGS.
CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, LOCATION,
AND ARRANGEMENT OF ALL UTILITIES PRIOR TO CONSTRUCTION.
CONTRACTOR SHALL CALL UNDERGROUND LOCATE AT 811 PRIOR
TO PERFORMING CONSTRUCTIONS ACTIVITIES.

PROJECT SPECIFICATIONS:

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN
ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD,
BRIDGE AND MUNICIPAL CONSTRUCTION, 2020 WASHINGTON STATE
DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER
"STANDARD SPECIFICATIONS").

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY
REFERENCE ARE:

- A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- B. COUNTY ROAD STANDARDS
- C. COUNTY DRAINAGE STANDARDS
- D. THE INTERNATIONAL BUILDING CODE (IBC)

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH
EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATION AT
CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR,
MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES AND
INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON
THESE DRAWINGS. ONCE WORK IS COMPLETED CONTRACTOR
SHALL OBTAIN ACCEPTANCE BY THE COUNTY AND PROJECT
ENGINEER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE
PROJECT. OMISSIONS FROM THE DRAWINGS OF DETAIL OF WORK
WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE
DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM
PROVIDING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING
THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS
SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE
ENGINEER AND INSPECTOR.

WORK IN RIGHT OF WAY:

CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO
COMMENCING ANY WORK LOCATED IN RIGHT OF WAY. ALL WORK
PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS,
STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE
RIGHT OF WAY PERMIT.

RECORD DRAWINGS:

FULLER DESIGNS IS REQUIRED BY THE COUNTY TO PROVIDE
RECORD DRAWING CERTIFICATION PRIOR TO FINAL COUNTY
ACCEPTANCE. FULLER DESIGNS WILL NOT CERTIFY RECORD
DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND
STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY
FULLER DESIGNS OF NECESSARY INSPECTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY
ENGINEER OR INSPECTOR OF INCONSISTENCIES PRIOR TO START
OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ONE SET OF
THE CONTRACT DRAWINGS THAT SHALL INCLUDE: ANY
ALTERATIONS OR LOCATION OF UNDERGROUND UTILITIES
ENCOUNTERED DURING THE PROGRESS OF THE PROJECT. ANY
ALTERATIONS MADE TO THE IMPROVEMENTS BEING INSTALLED.
MARKED DRAWINGS SHALL BE CLEAR AND LEGIBLE. DRAWINGS
SHALL BE MARKED "RECORD DRAWINGS" AND SHALL BE
SUBMITTED TO THE ENGINEER UPON PROJECT COMPLETION.

CONTRACTOR LIABILITY NOTE:

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE
RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE
COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT
SHALL APPLY CONTINUOUSLY THROUGHOUT PROJECT EXECUTION
AND NOT BE LIMITED TO WORKING HOURS. CONTRACTOR SHALL
PROGRESS WORK IN A MANOR THAT SHALL INDEMNIFY AND HOLD
FULLER DESIGNS HARMLESS FROM ALL LIABILITY IN CONNECTION
WITH CONTRACTOR'S PERFORMED WORK.

REMOVAL OF UNSUITABLE MATERIALS:

IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD
SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE
REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR
INSPECTOR AND REPLACED WITH SUITABLE MATERIAL.

UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND
HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR.
PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER
SO MEASUREMENT/PAYMENT CAN BE MADE PER TON OF
UNSUITABLE MATERIAL REMOVED.

EROSION CONTROL NOTE:

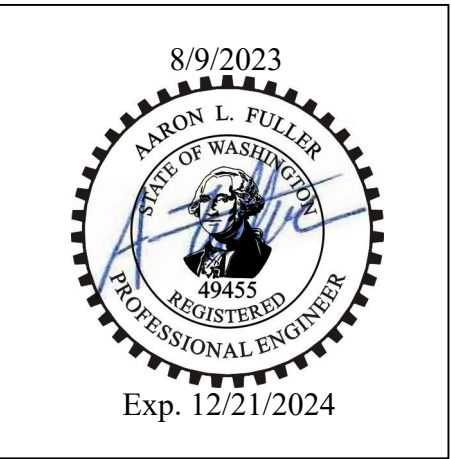
EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS
ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR THE
INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL
MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE
STRUCTURES WILL BE PERMITTED. CARE SHALL BE TAKEN TO
PREVENT MIGRATION OF SOILS TO ADJACENT PROPERTIES.
DISTURBED EARTH SHALL BE STABILIZED AS REQUIRED BY THE
STANDARD SPECIFICATIONS. INDIVIDUAL DESIGNATED TO MONITOR
EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL HAVE
CESCL CERTIFICATION.

GENERAL NOTES:

CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES
WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY
SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.

AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED
TO THEIR ORIGINAL PRE-CONSTRUCTION STATE OR BETTER UPON
COMPLETION OF WORK.

DRAWING TITLE:	CIVIL COVER SHEET
	CHECKED: AF/SA
	DRAWN: SD
	DATE: 07/06/23
SCALE: N/A	PROJECT NAME: DESKIN GRAND MOUND SITE



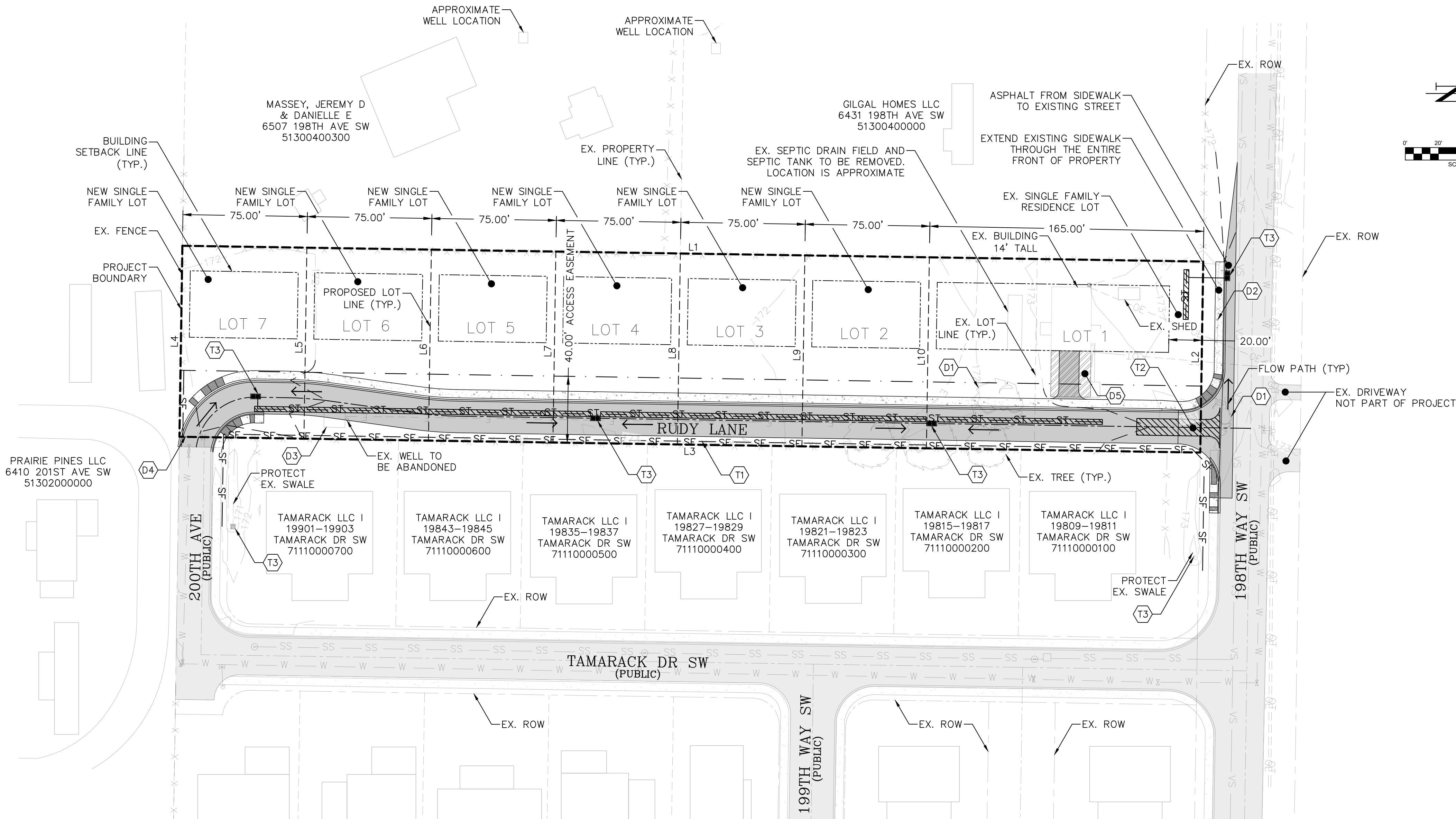
FULLER DESIGNS
1101 KRESKY AVE
CENTRALIA, WA 98531
(360) 807-4420

REV.	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	07/06/23
1		

C0.1

1 OF 12

SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT



TESC NOTES:

- (T1) INSTALL SILT FENCE. SEE DETAIL 3-21 SHEET C1.2.
- (T2) INSTALL 50' LONG CONSTRUCTION ENTRANCE. SEE DETAIL 3-2 SHEET C1.2.
- (T3) INSTALL INLET PROTECTION TO CATCH BASIN. SEE DETAIL 3-16 SHEET C1.2.

DEMOLITION NOTES:

- (D1) EX. TREES TO BE REMOVED
- (D2) EX. FENCE TO BE REMOVED
- (D3) EX. STRUCTURE TO BE REMOVED
- (D4) EX. FENCE SECTION TO BE REMOVED TO PROVIDE ACCESS
- (D5) 28' OF EX. BUILDING TO BE REMOVED TO MEET SETBACK

NOTES TO CONTRACTOR:

- ALL EXPOSED SOIL SURFACES SHALL BE SEEDED WITH AN EROSION CONTROL SEED MIX OR HYDROSEDED IF NOT WORKED WITHIN 7 CALENDAR DAYS FROM MAY 1 TO SEPTEMBER 30. SOIL SHALL BE COVERED WITHIN 2 DAYS FROM OCTOBER 1 TO APRIL 30.
- SEEDED AREAS WILL BE COVERED WITH MULCH, HAY OR OTHER PROTECTIVE COVERING APPROVED BY THE ENGINEER TO PREVENT WASHOUT DURING RAIN EVENTS.
- CONTRACTOR SHALL APPLY WATER TO GRAVEL SURFACES DURING CONSTRUCTION TO MINIMIZE FUGITIVE DUST.
- ROUTINE INSPECTION AND MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL BMPs, ESPECIALLY AFTER STORMS, IS REQUIRED.
- PERIODIC STREET CLEANING MAY BE NECESSARY TO REMOVE ANY SEDIMENT TRACKED OFF THE SITE.
- IN THE EVENT PROPOSED BMPs FAIL, APPROPRIATE MEASURES MUST BE TAKEN TO STOP SEDIMENTS FROM ENTERING WATERWAYS.

LINE TABLE		
Line #	Bearing	Length
L1	S0° 53' 07.00"W	615.00
L2	S89° 06' 54.00"E	115.00
L3	N0° 53' 07.00"E	615.00
L4	S89° 06' 53.00"E	115.00
L5	S89° 06' 53.00"E	115.00
L6	S89° 06' 53.00"E	115.00
L7	S89° 06' 53.00"E	115.00
L8	S89° 06' 53.00"E	115.00
L9	S89° 06' 53.00"E	115.00
L10	S89° 06' 53.00"E	115.00

ASSUMED TOTAL AREA FOR DEVELOPMENT:

EXISTING BUILDING	1,680 SF
PROPOSED BUILDINGS	12,000 SF
SIDEWALK	3,860 SF
ASPHALT	12,340 SF
DRIVEWAYS	2,800 SF

ASSUMED LAND TYPE PER INDIVIDUAL LOT:

BUILDING	2,000 SF
DRIVEWAY	400 SF
ROADWAY	1,500 SF
SIDEWALK	400 SF
YARD	4,325 SF

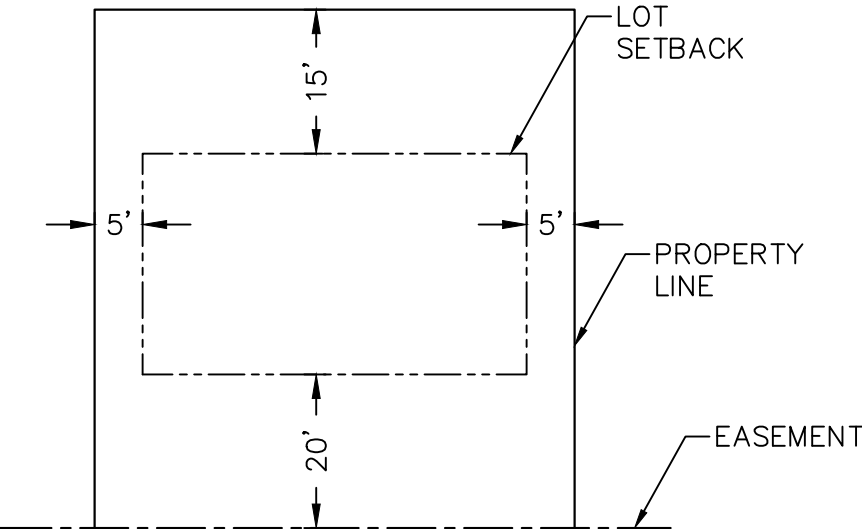
PERCENT IMPERVIOUS = 50%

NOTE:

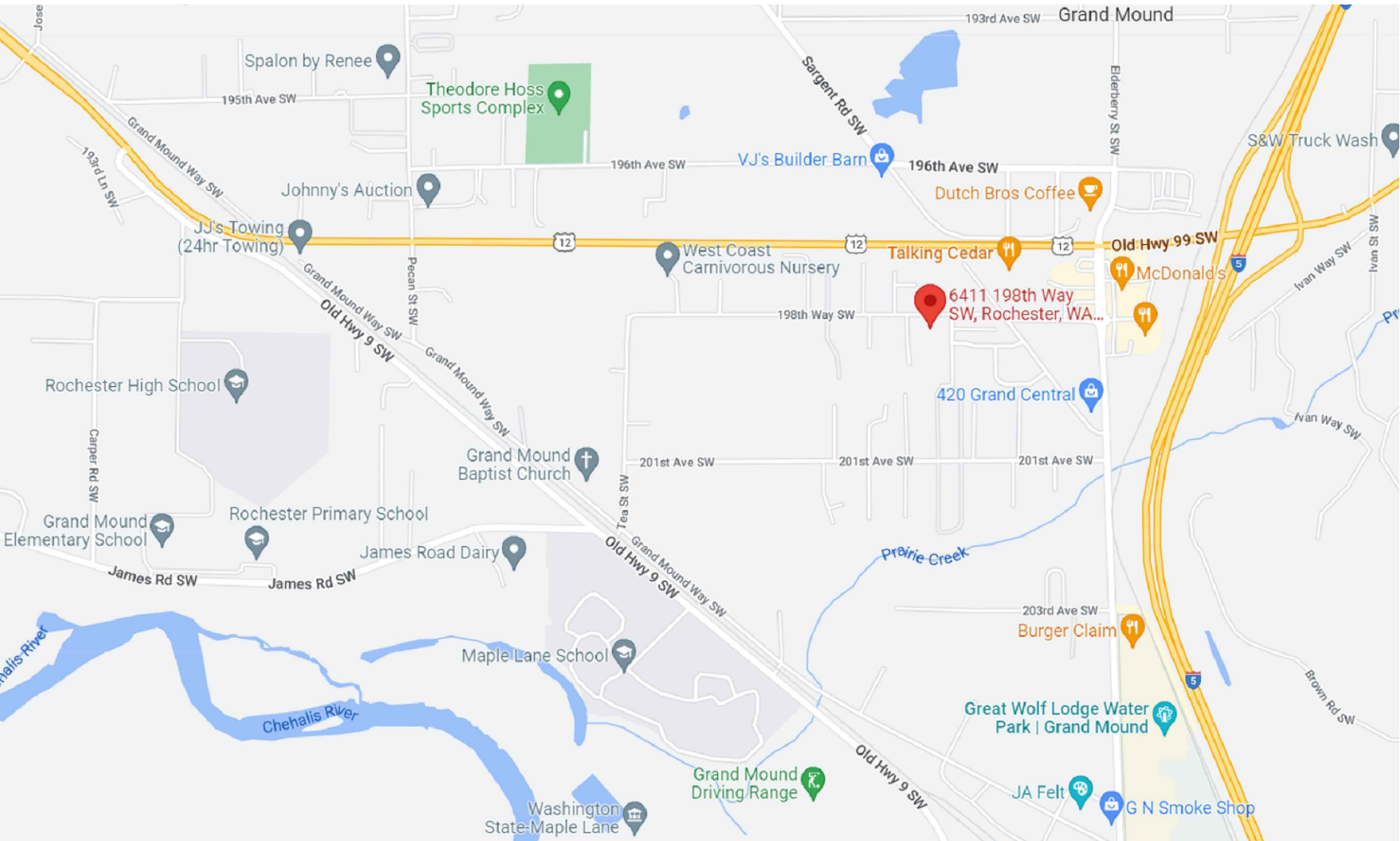
THE PROJECT SITE WILL GRADE AND BUILT A NEW ROAD SEGMENT. THE NEW ROAD SECTION WILL BUILD HIGH AND LOW POINTS. RUNOFF FROM THE NEW PROJECT WILL BE DRAINED BY INSTALLING NEW CATCH BASINS AND INFILTRATION TRENCH. THE NEW ROAD SEGMENT WILL BE GRADED AS SHOWN ON SHEET 4, C2.1

198 TH WAY WIL BE WIDENED AND GRADED AS SHOWN ON SHEET 5, C2.2

GRADING: 82± CY FILL
21± CY CUT



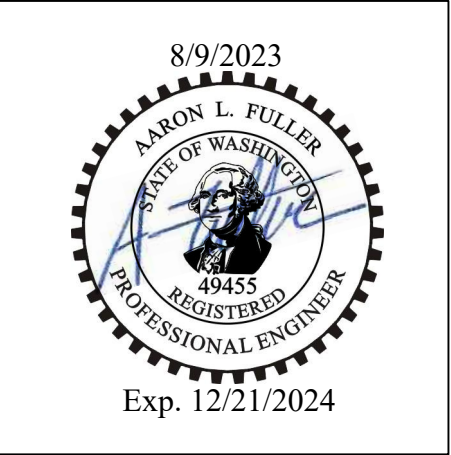
TYP. LOT SETBACK
NTS



VINCITY MAP
SCALE: 1:1250

APPROVED FOR CONSTRUCTION
BY _____ DATE _____
PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____

OVERALL SITE AND TESC PLAN			
DRAWING TITLE:	DATE:	DRAWN:	CHECKED:
SCALE: 1:40	07/06/23	SD	AF/SA
PROJECT NAME:		DESKIN GRAND MOUND SITE	



FULLER DESIGNS
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CENTRALIA, WA 98531
(360) 807-4420

REV.	DESCRIPTION:	DATE:	ISSUED FOR CONSTRUCTION
0		07/06/23	
1			

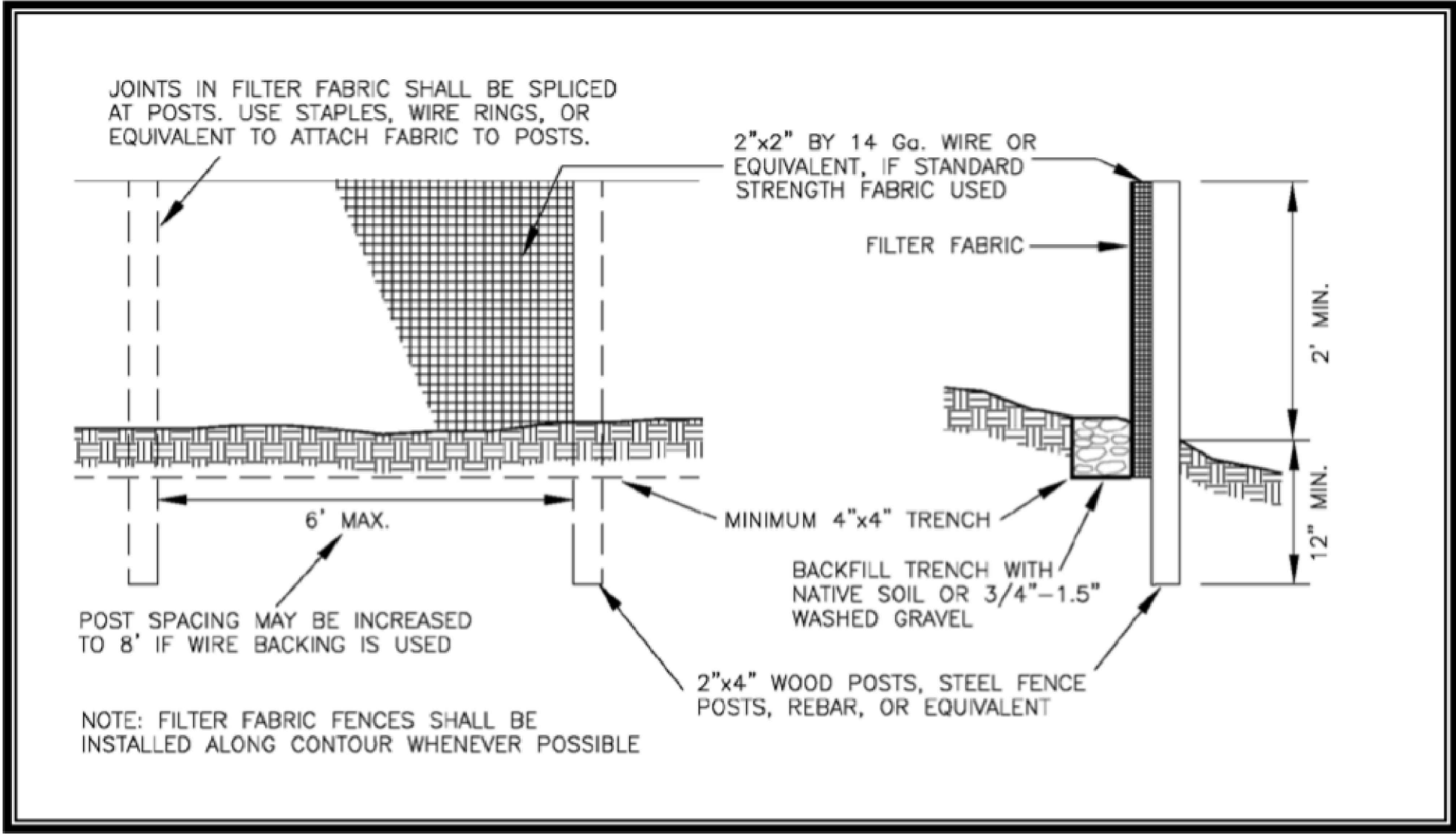


Figure 3.21. Silt Fence

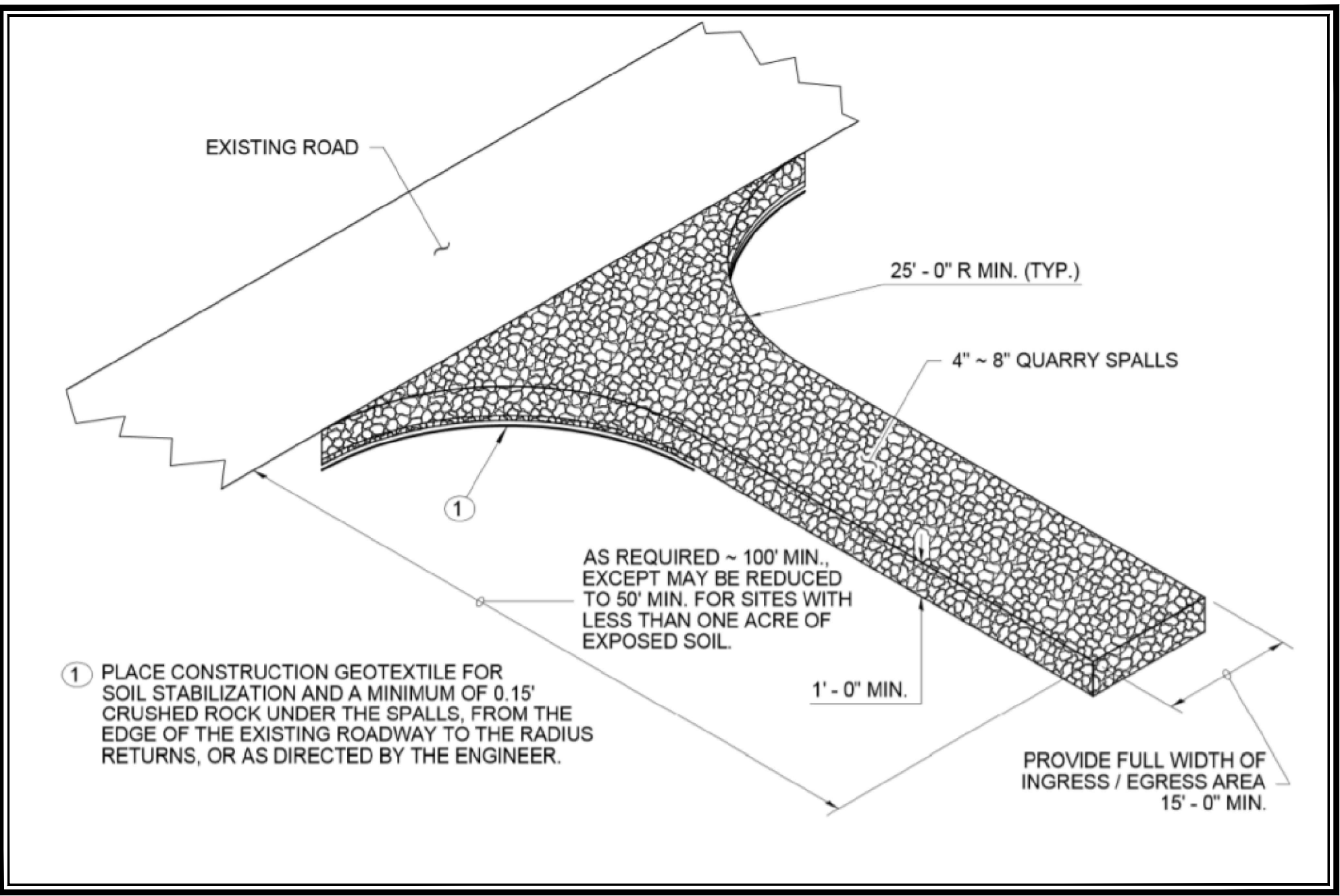


Figure 3.2. Stabilized Construction Entrance.
(Drawing courtesy of WSDOT Standard Plans)

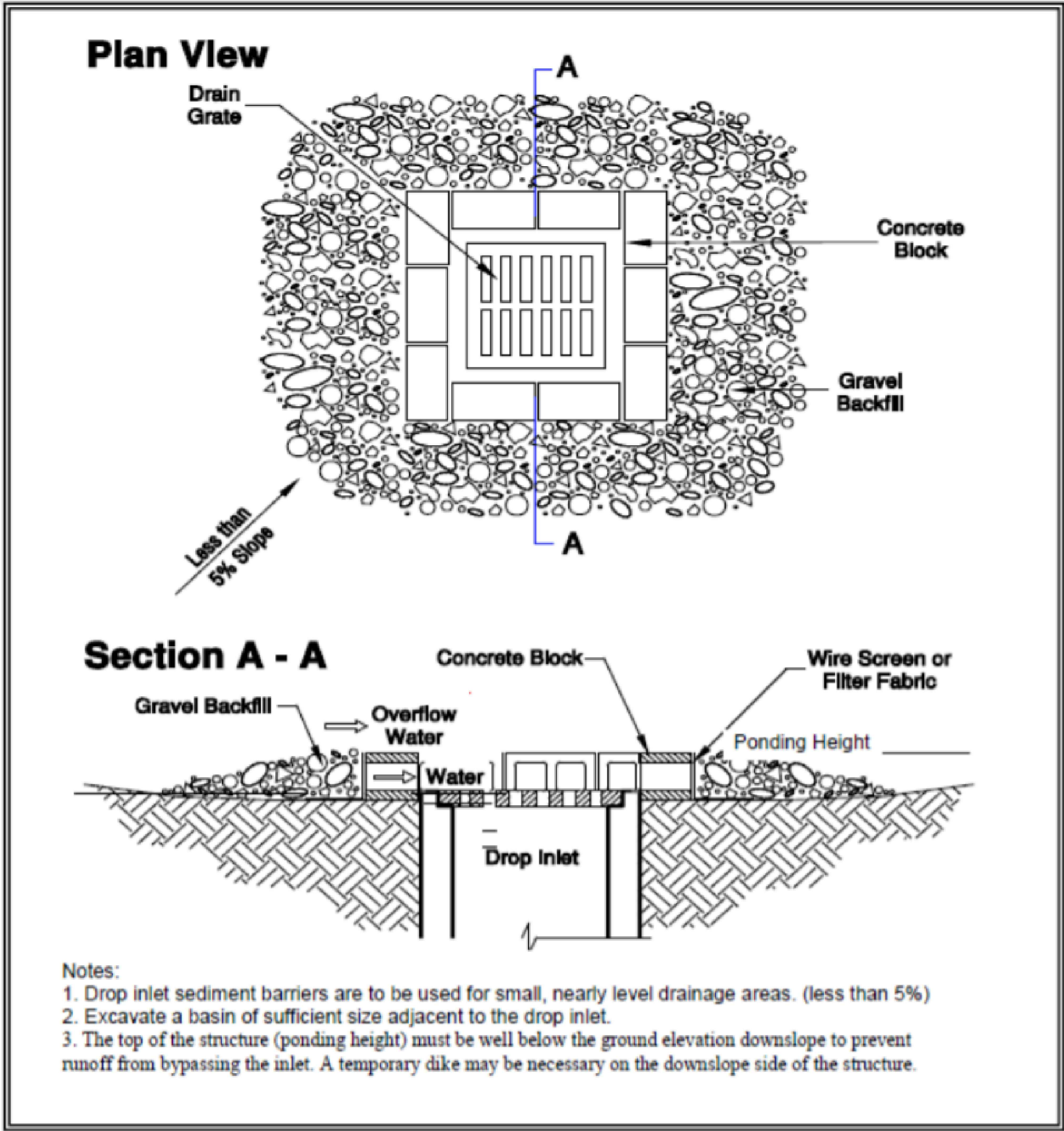


Figure 3.16. Block and Gravel Filter

DRAWING TITLE: EROSION CONTROL NOTES AND DETAILS			
SCALE: N.T.S.	DATE: 07/06/23	DRAWN: SD	CHECKED: AF/SA
PROJECT NAME: DESKIN GRAND MOUND SITE			



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1101 KRESKY AVE
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(360) 807-4420

REV:	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	07/06/23
1		

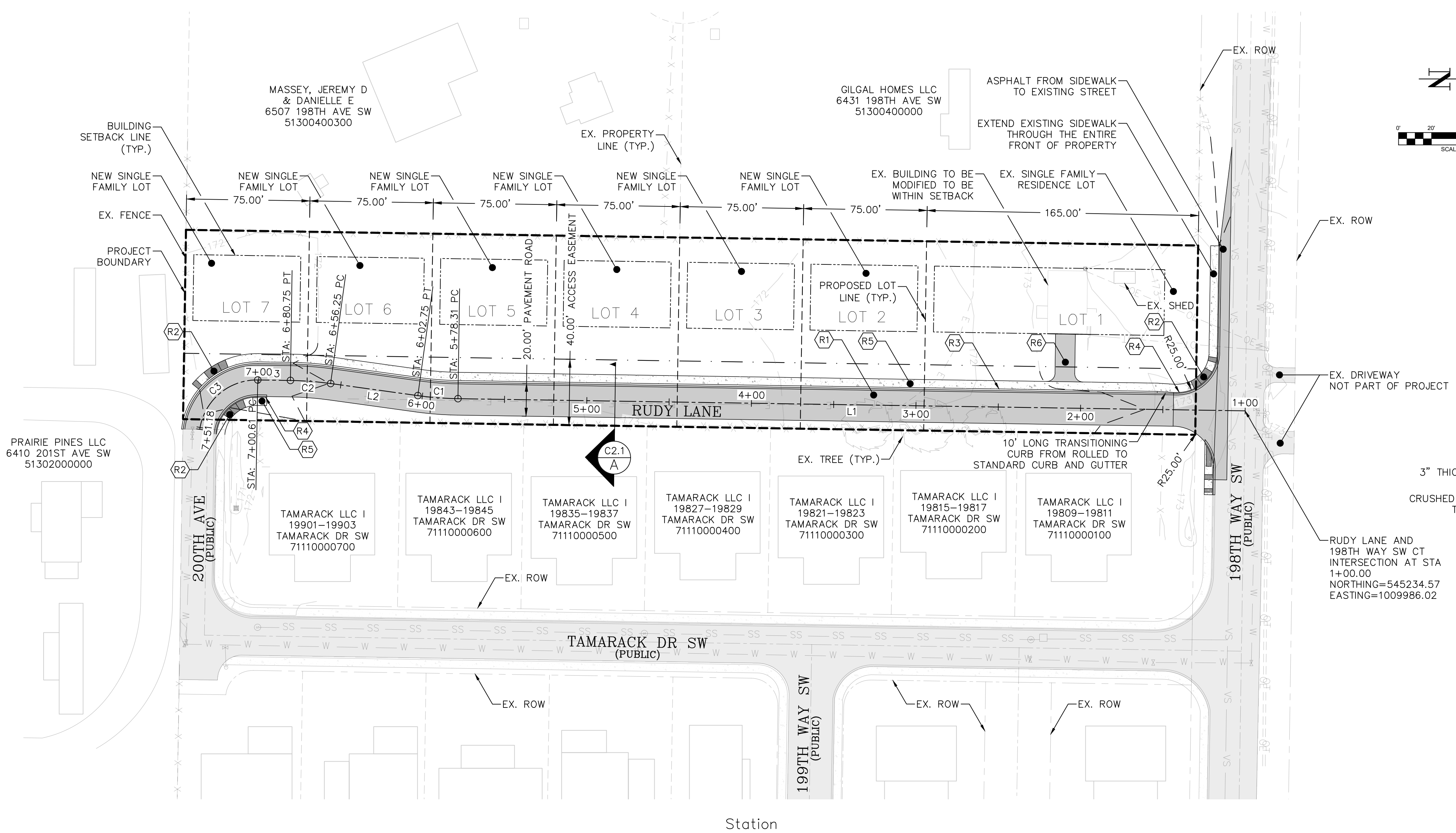
APPROVED FOR CONSTRUCTION

BY _____ DATE _____

PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT

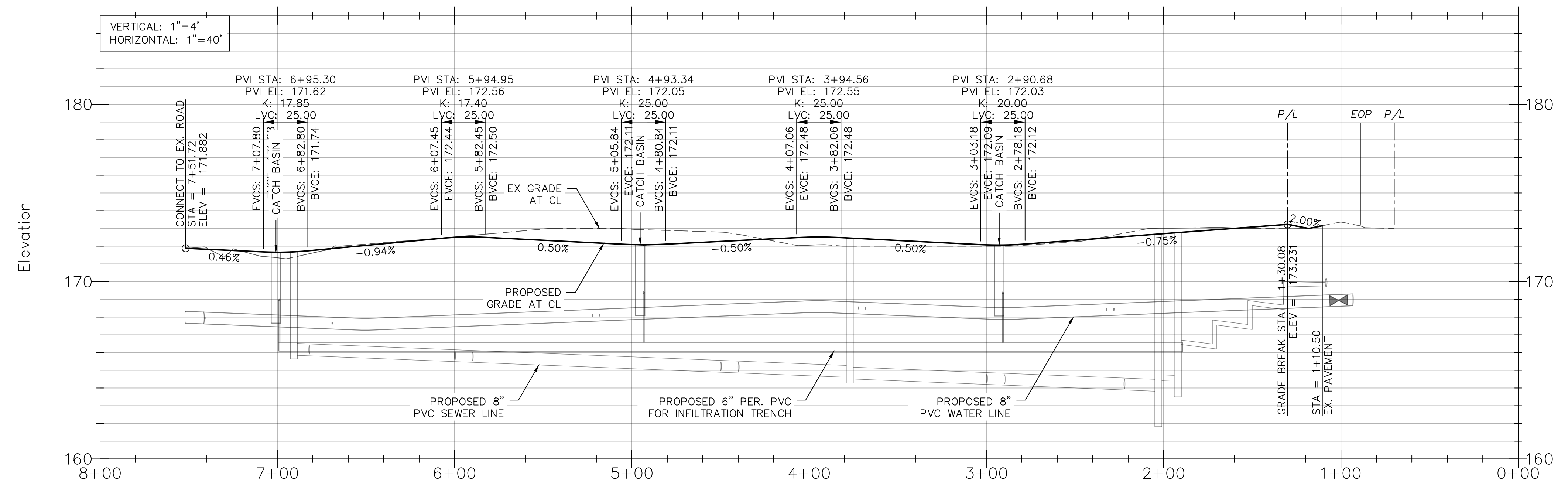
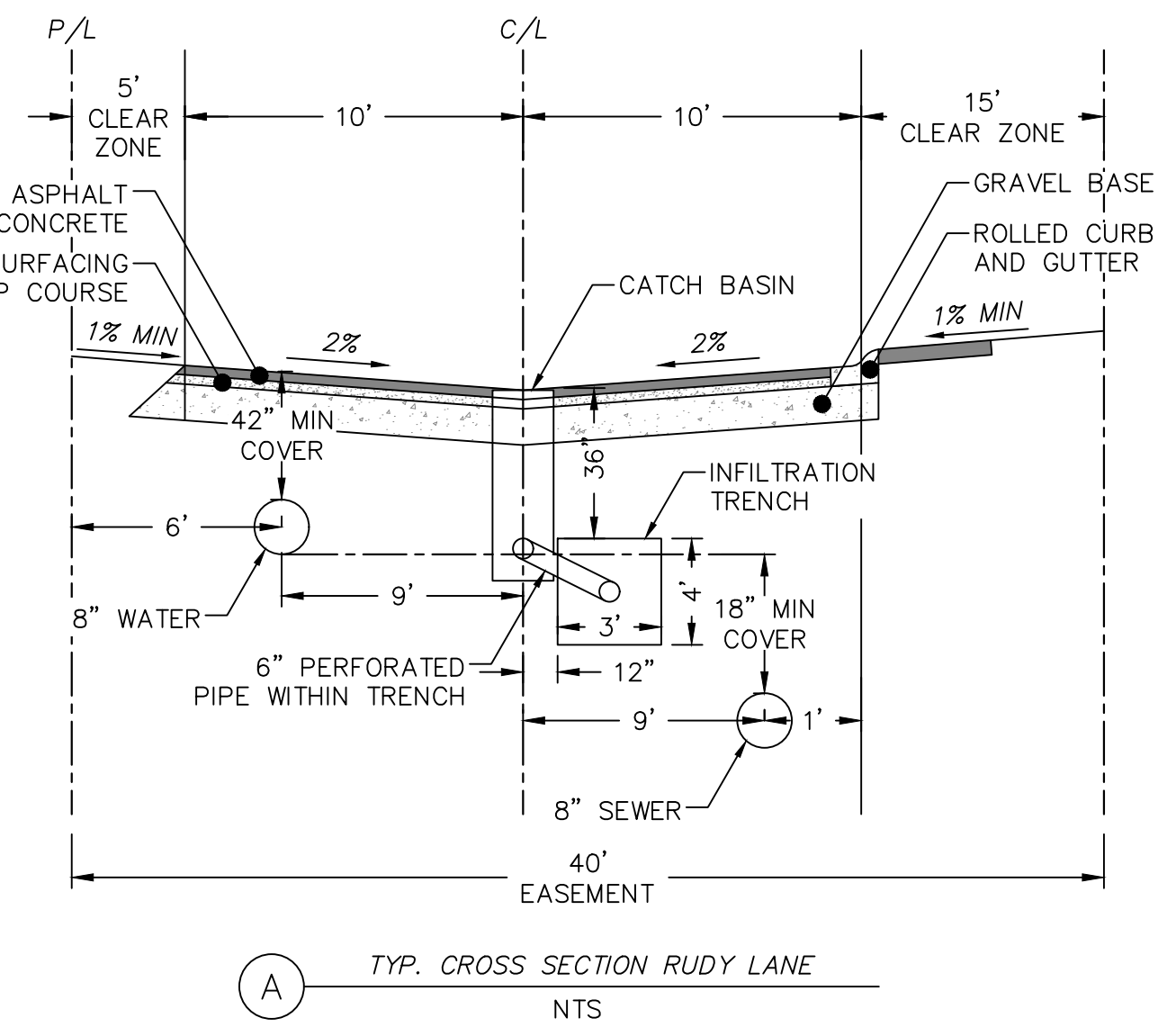
APPROVAL EXPIRES: _____

SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT



- ROADWAY CONSTRUCTION NOTES:**
- (R1) INSTALL ASPHALT CONCRETE ROADWAY PER CROSS SECTION THIS SHEET AND PER APPENDIX 6-A DETAIL, SHEET C2.4
 - (R2) INSTALL CURB RAMP TYPE D1 PER APPENDIX 16-H DETAIL, SHEET C2.4
 - (R3) INSTALL ROLLED CURB AND GUTTER PER CROSS SECTION THIS SHEET AND PER DETAIL R-1, SHEET C2.4
 - (R4) INSTALL STANDARD CEMENT CONCRETE CURB AND GUTTER PER APPENDIX 16-M DETAIL, SHEET C2.4
 - (R5) INSTALL 5' WIDE SIDEWALK PER CROSS SECTION THIS SHEET AND PER APPENDIX 16-C DETAIL, SHEET C2.4
 - (R6) INSTALL 12' WIDE DRIVEWAY ACCESS FOR EX. BUILDING

Parcel Line and Curve Table				
Line #/Curve #	Length	Bearing/Delta	Radius	Tangent
L1	478.31	N0° 53' 06.00"E		
C1	24.43	7.00	200.00	12.23
L2	53.50	N7° 53' 06.00"E		
C2	24.50	7.02	200.00	12.27
L3	19.86	N0° 51' 59.11"E		
C3	50.56	82.77	35.00	30.84



APPROVED FOR CONSTRUCTION
BY _____ DATE _____
PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____

DRAWING TITLE: ROAD PLAN AND PROFILE

CHECKED: AF/SA

DATE: 07/06/23

DRAWN: SD

SCALE: 1:40

PROJECT NAME: DESKIN GRAND MOUND SITE

8/9/2023

AARON L. FULLER

STATE OF WASHINGTON

49455

REGISTERED PROFESSIONAL ENGINEER

Exp. 12/21/2024

FULLER DESIGNS

1101 KRESKY AVE

CENTRALIA, WA 98531

(360) 807-4420

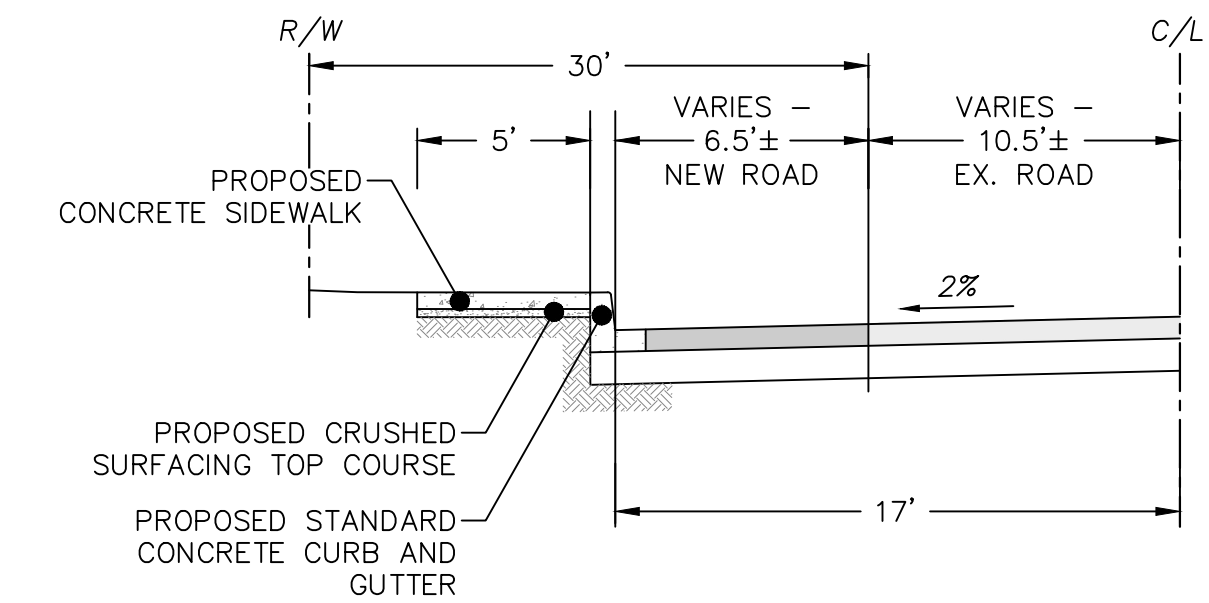
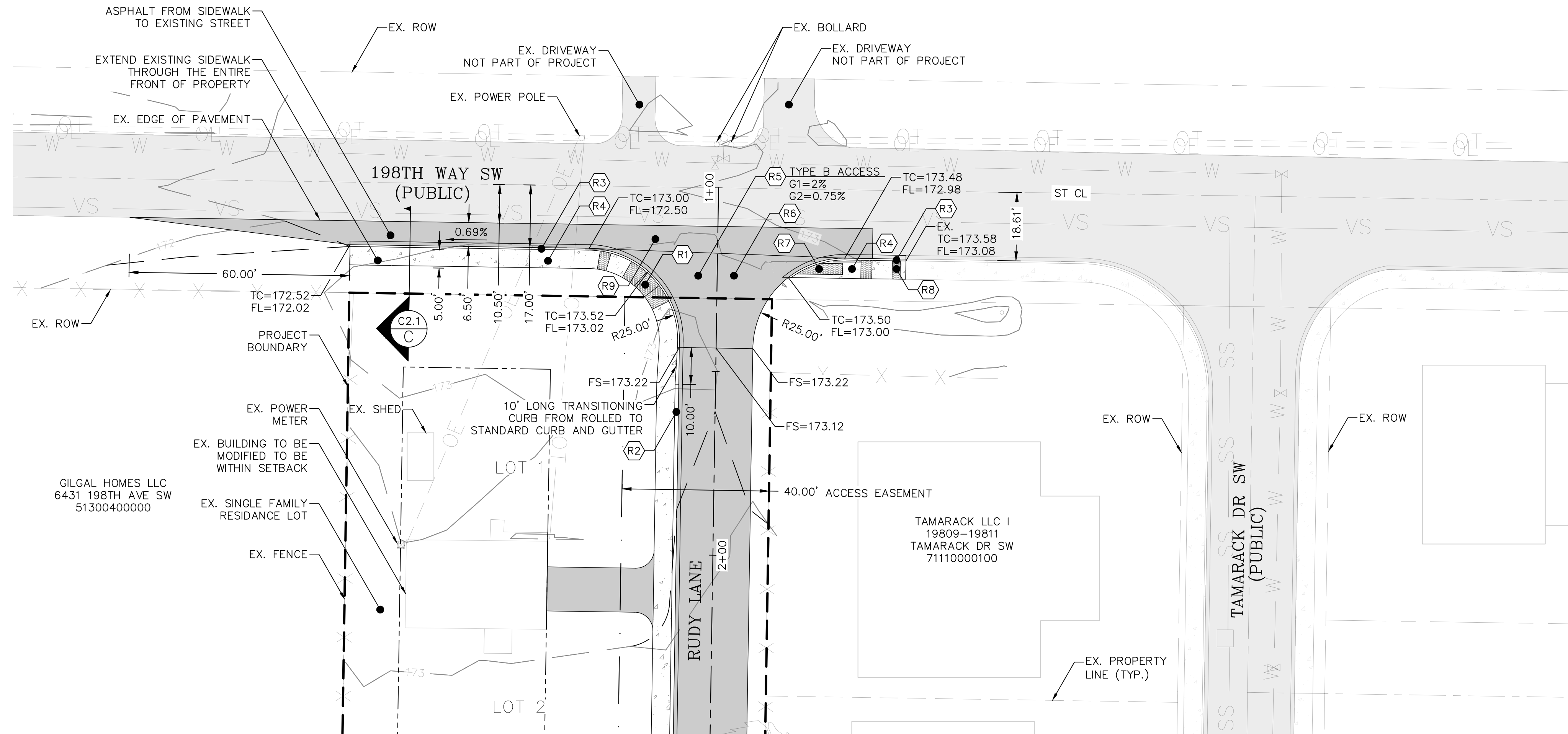
REV: DESCRIPTION: DATE:

0	ISSUED FOR CONSTRUCTION	07/06/23
1		

C2.1

4 OF 12

- (R1) INSTALL CURB RAMP TYPE D1 PER APPENDIX 16-H DETAIL, SHEET C2.4
- (R2) INSTALL ROLLED CURB AND GUTTER PER DETAIL R-1, SHEET C2.4
- (R3) INSTALL STANDARD CURB AND GUTTER PER CROSS SECTION THIS SHEET AND PER APPENDIX 16-C AND 16-M DETAILS, SHEET C2.4
- (R4) INSTALL 5' WIDE SIDEWALK PER CROSS SECTION THIS SHEET AND PER APPENDIX 16-C DETAIL, SHEET C2.4
- (R5) INSTALL ACCESS PER APPENDIX 7-A & 7-C DETAILS, SHEET C2.4
- (R6) EX. MAIL BOX TO BE REMOVED. INSTALL NEW RESIDENCE COMMUNITY MAIL BOX PER APPENDIX 8-B DETAIL, SHEET C2.4
- (R7) INSTALL CURB RAMP TYPE F PER APPENDIX 16-K DETAIL, SHEET 2.4
- (R8) RELOCATE EXISTING UNDER SIDEWALK DRAIN
- (R9) INSTALL PAVEMENT SECTION PER APPENDIX 6-D DETAIL, SHEET 2.4



(C) CROSS SECTION 198TH WAY SW
NTS

Diagram illustrating setbacks for various structures from a property line (indicated by a dashed line):

- EX. POWER METER
- EX. BUILDING TO BE MODIFIED TO BE WITHIN SETBACK
- EX. SINGLE FAMILY RESIDENCE LOT
- EX. FENCE
- EX. SHED

LOT 2

TAMARACK LLC I
19809-19811
TAMARACK DR SW
71110000100

EX. PROPERTY
LINE (TYP.)

TAMARACK DR SW
(PUBLIC)

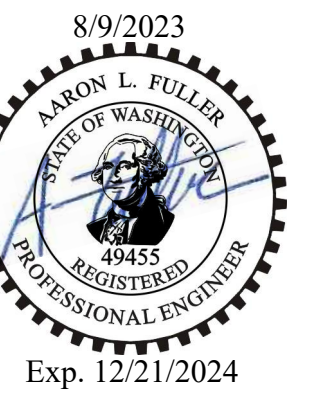
EX. ROW

DRAWING TITLE:

1981 FRONTAGE IMPROVEMENT AND LIGHTING PLAN

SCALE: 1" = 20'	DATE: 07/06/23	DRAWN: SD	CHECKED: AF/SA
PROJECT NAME:			

DESKIN GRAND MOUND SITE



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1101 KRESKY AVE
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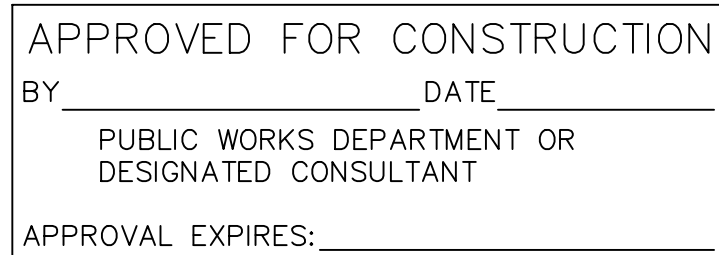
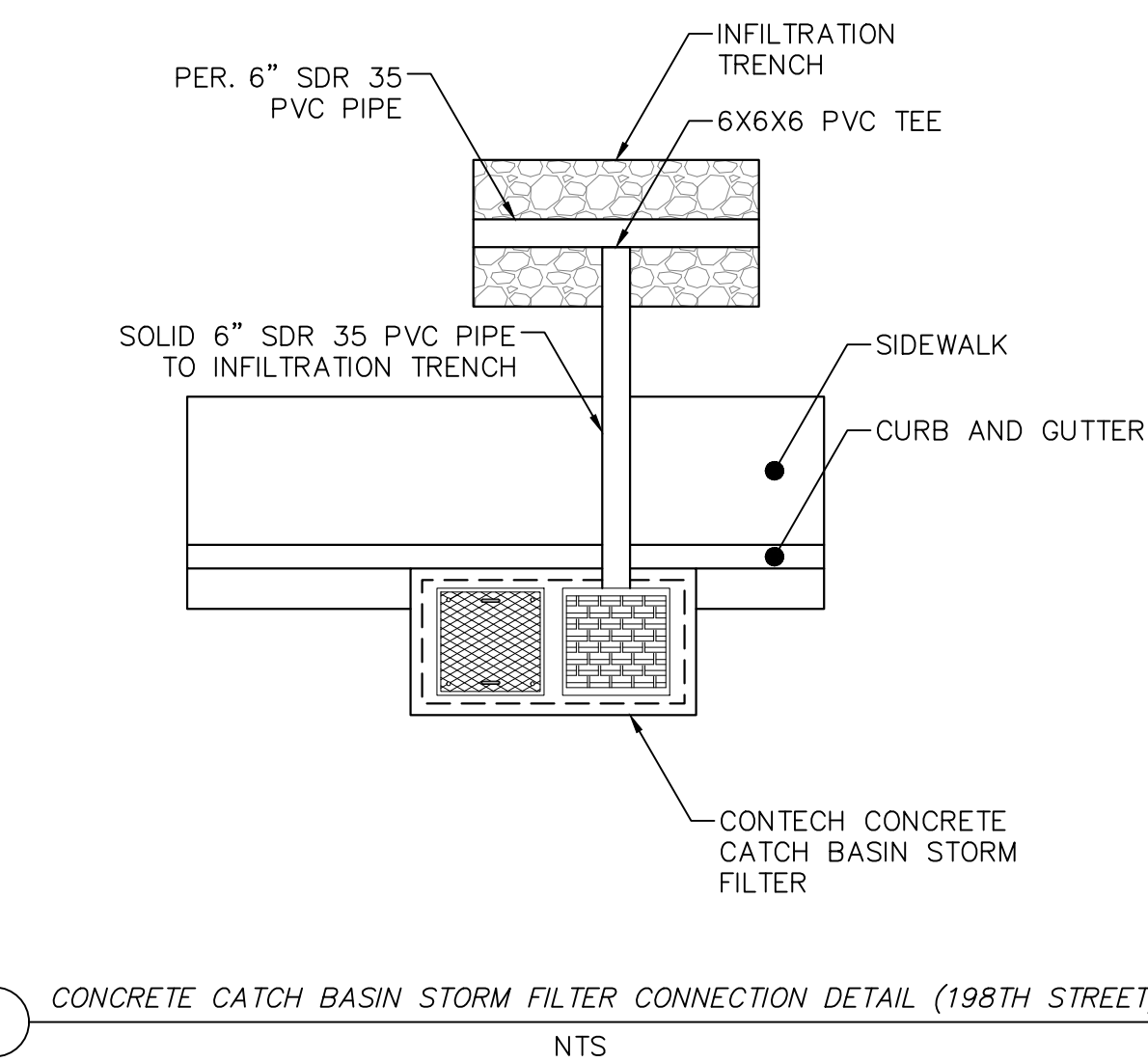
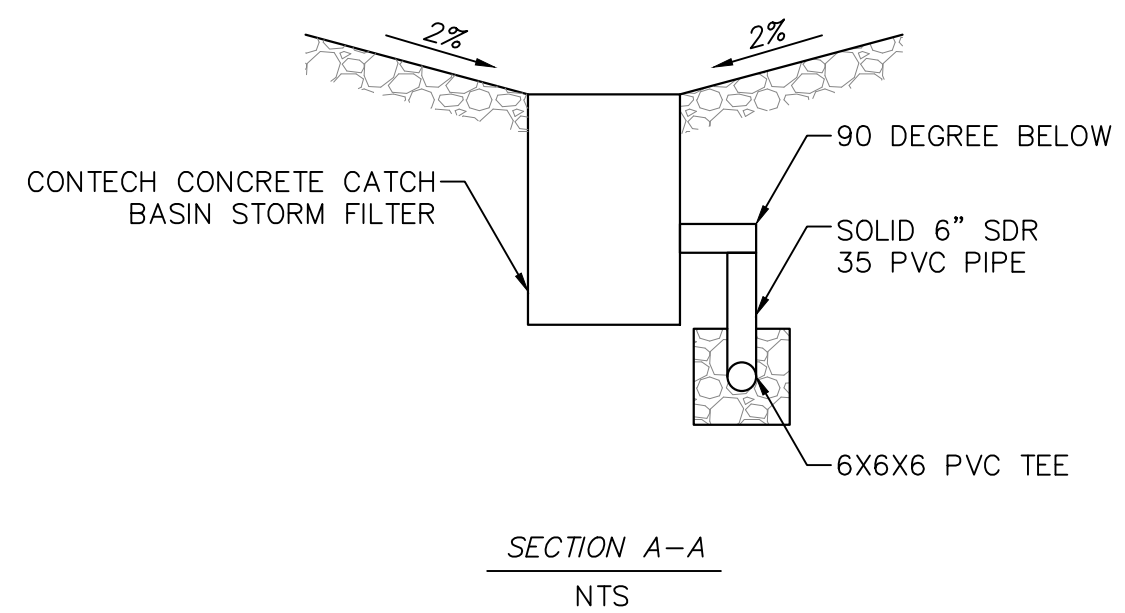
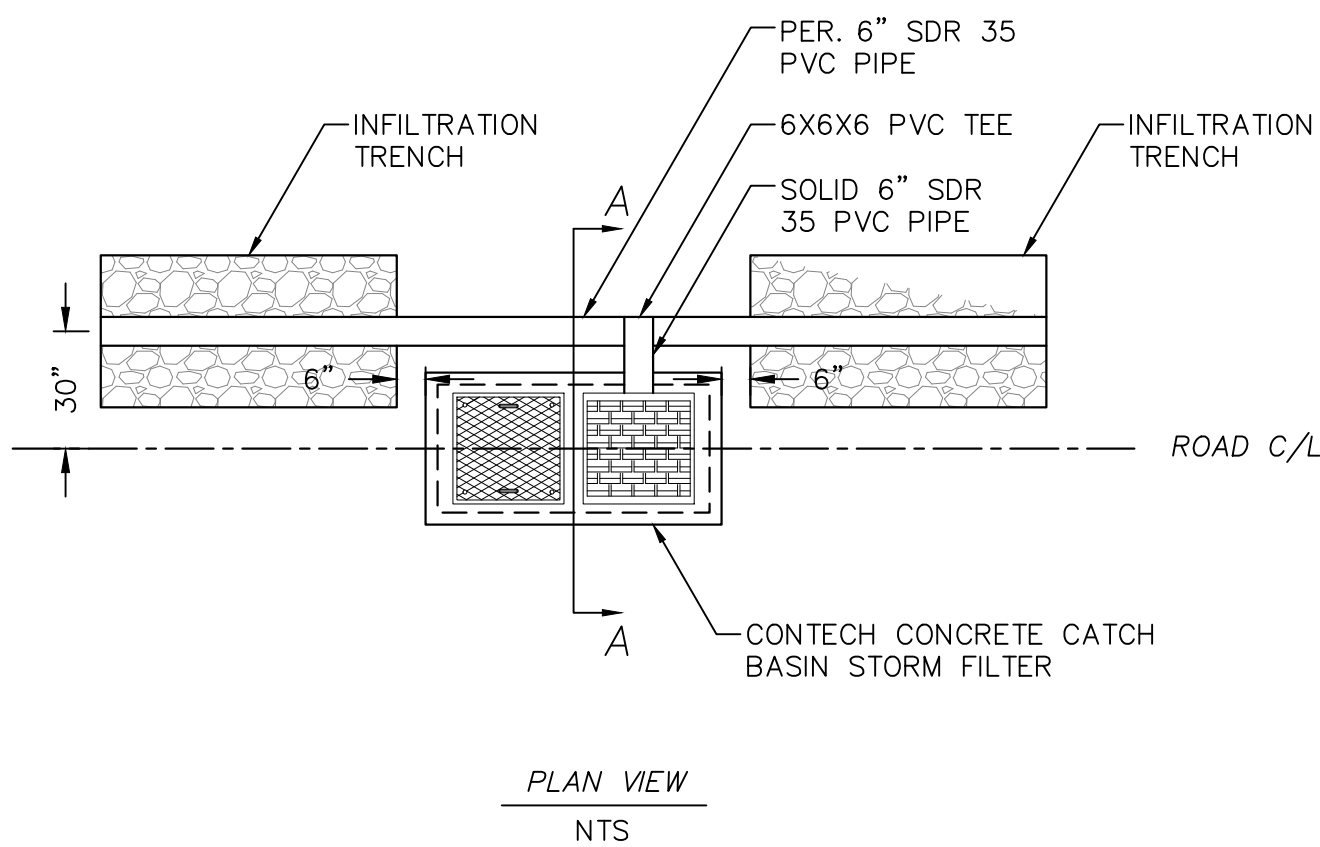
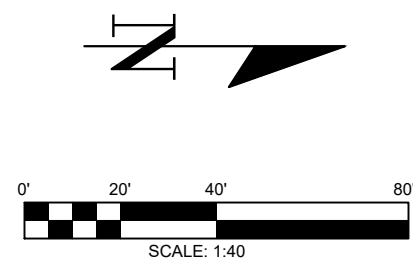
APPROVED FOR CONSTRUCTION	
BY _____	DATE _____
PUBLIC WORKS DEPARTMENT OR DESIGNATED CONSULTANT	
APPROVAL EXPIRES: _____	

C2.2

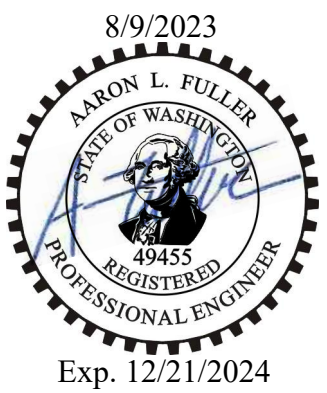
5 OF 12

STORMWATER NOTES:

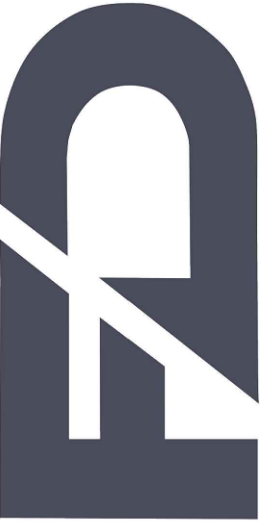
- | | |
|---|---|
| 1 | INSTALL CONTECH CARTRIDGE CATCH BASIN FILTER PER DETAILS THIS SHEET AND PER DETAIL ON SHEET 2.5 |
| 2 | INSTALL TRENCH WITH 6-INCH PERFORATED PIPE PER DETAIL ON SHEET 2.5, SLOPE=0.00 |
| 3 | INSTALL OBSERVATION WELL PER DETAIL HEREON |
| 4 | INSTALL CONTECH CARTRIDGE CATCH BASIN FILTER PER DETAIL ON THIS SHEET AND ON SHEET 2.5 |
|  | PLANTING BED PER BMP 75.13 SHOWN HEREON |



DRAWING TITLE:			
DRAINAGE PLAN			
SCALE:	1:40	DATE:	07/06/23
		DRAWN:	SD
		CHECKED:	AF/SA
PROJECT NAME:			
DESKIN GRAND MOUND SITE			



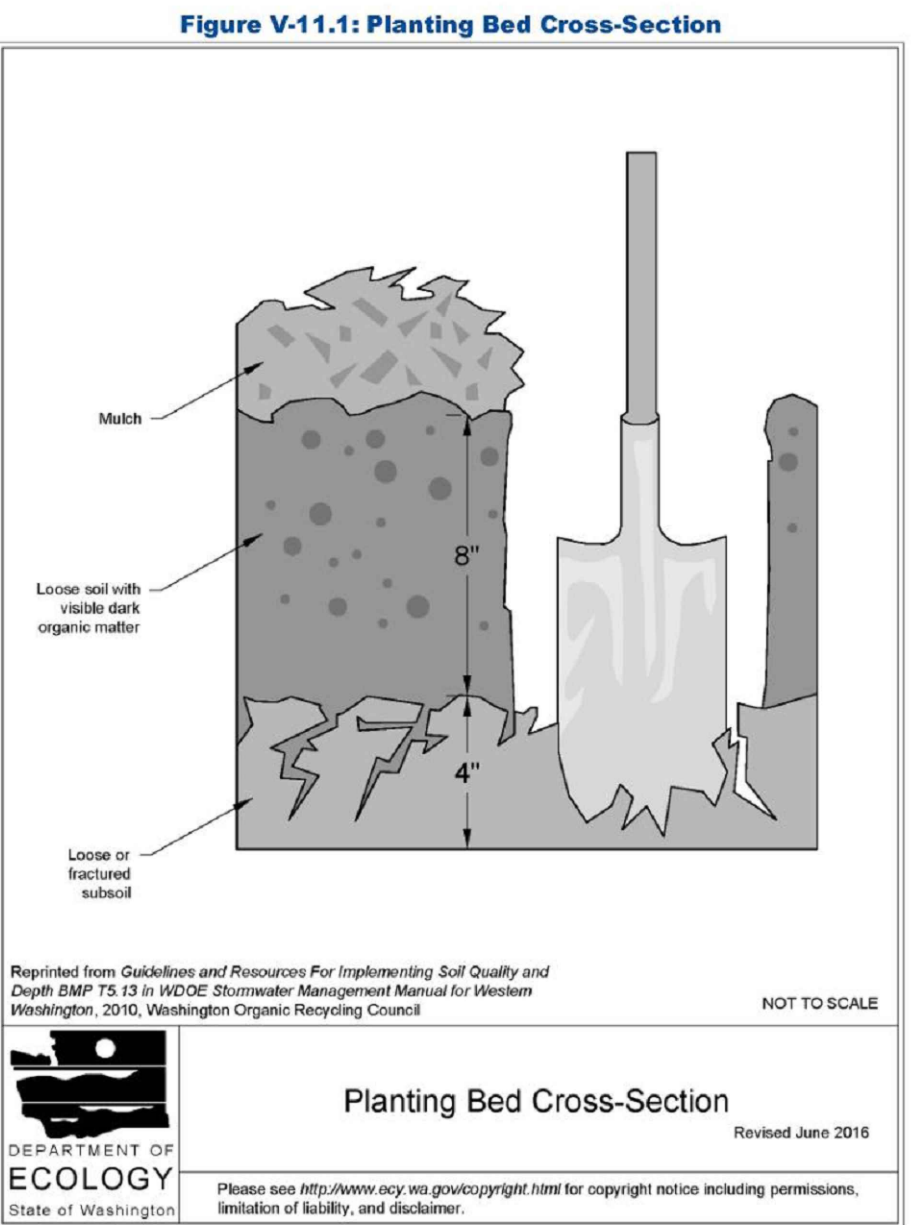
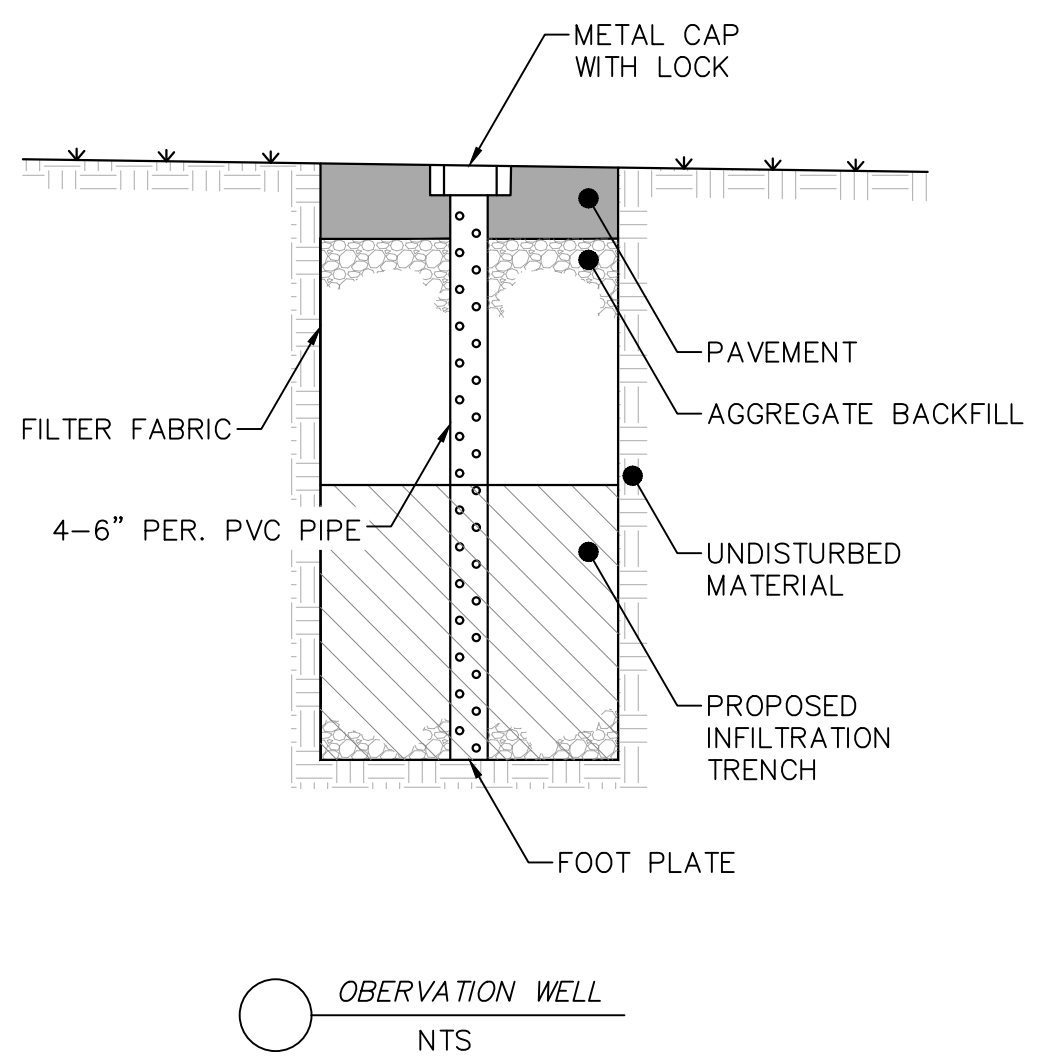
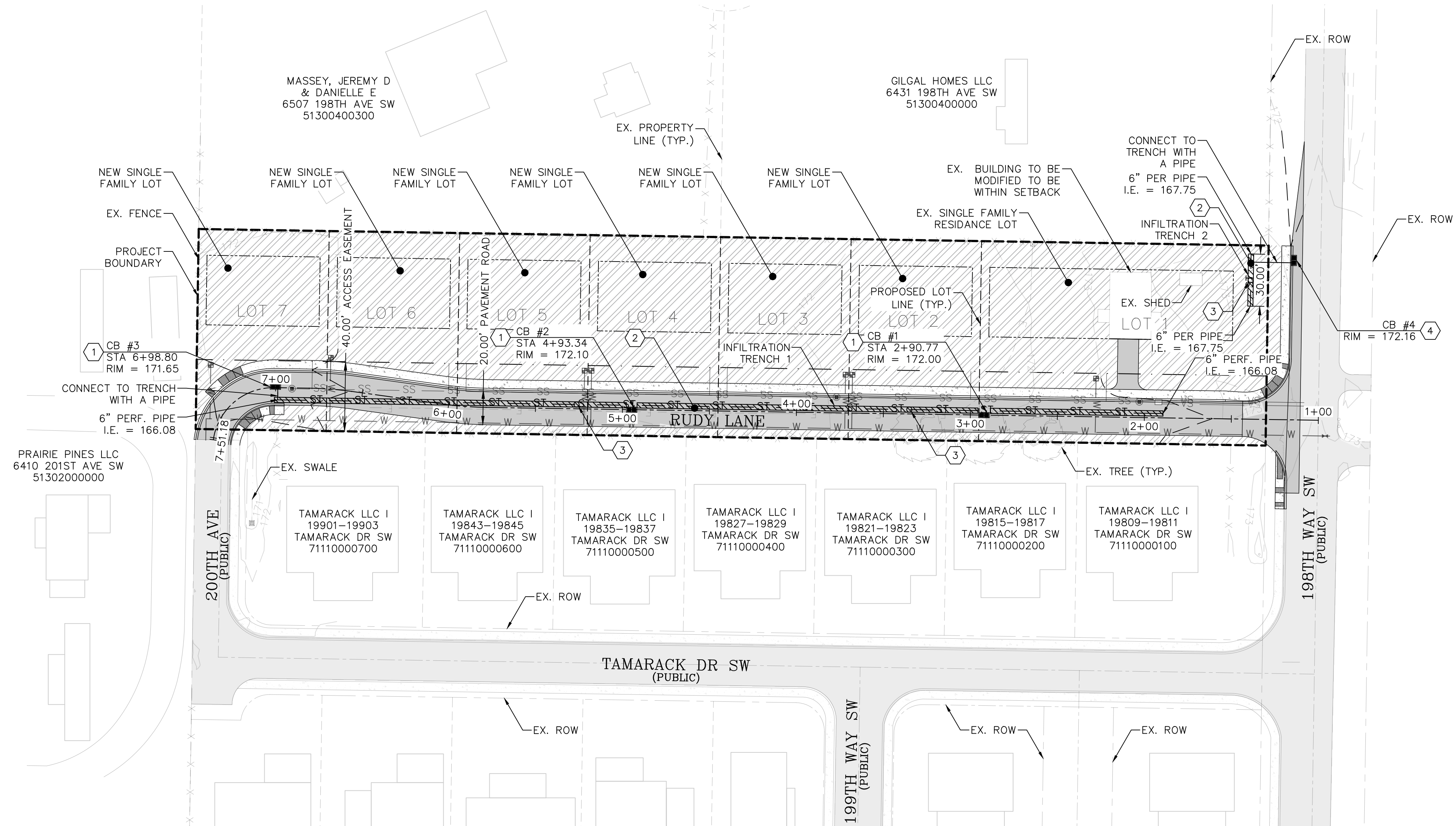
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CENTRALIA, WA 98531
(360) 807-4420



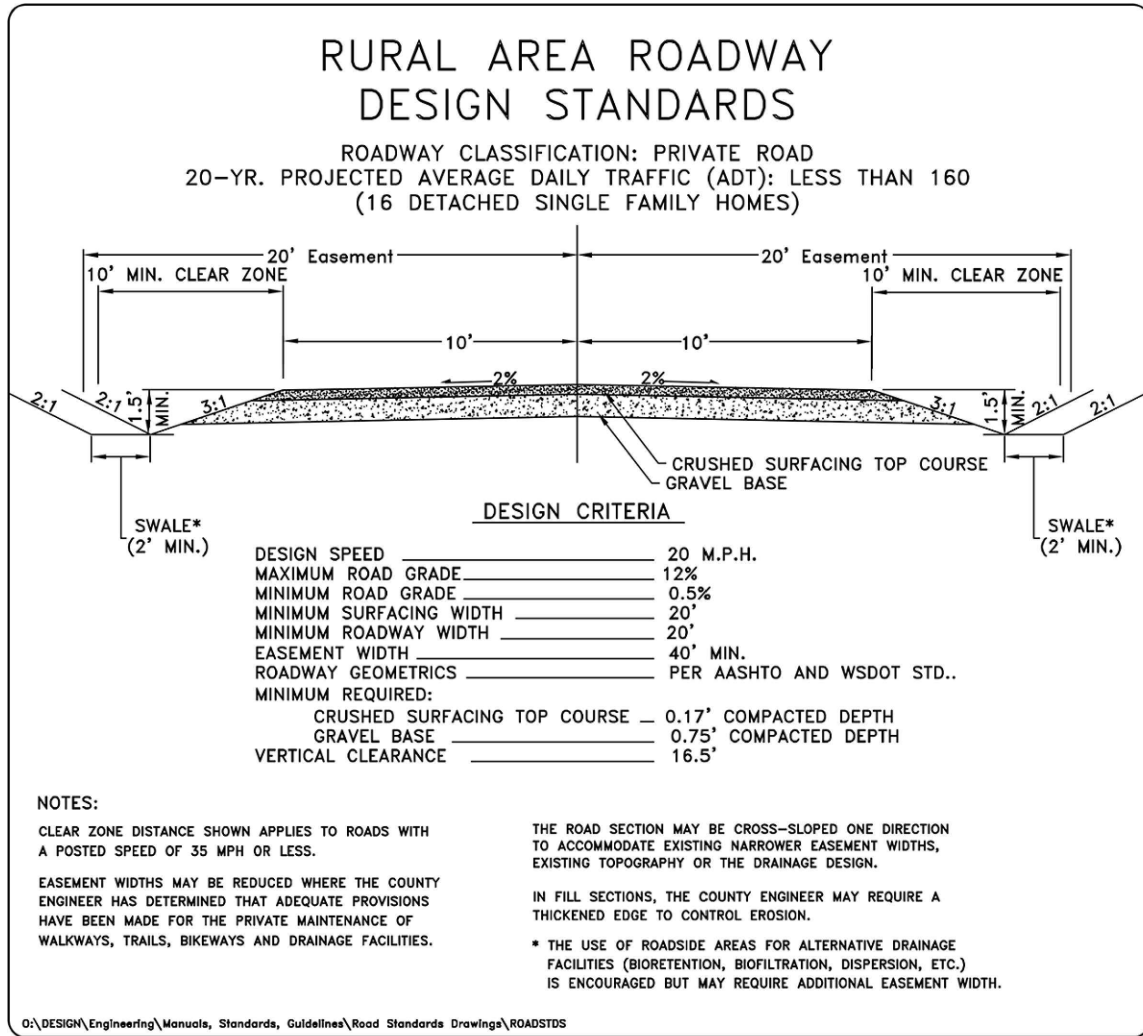
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1	ISSUED FOR CONSTRUCTION	07/04/23

C2.3

6 OF 12



SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT



LAST REVISED 7/2016

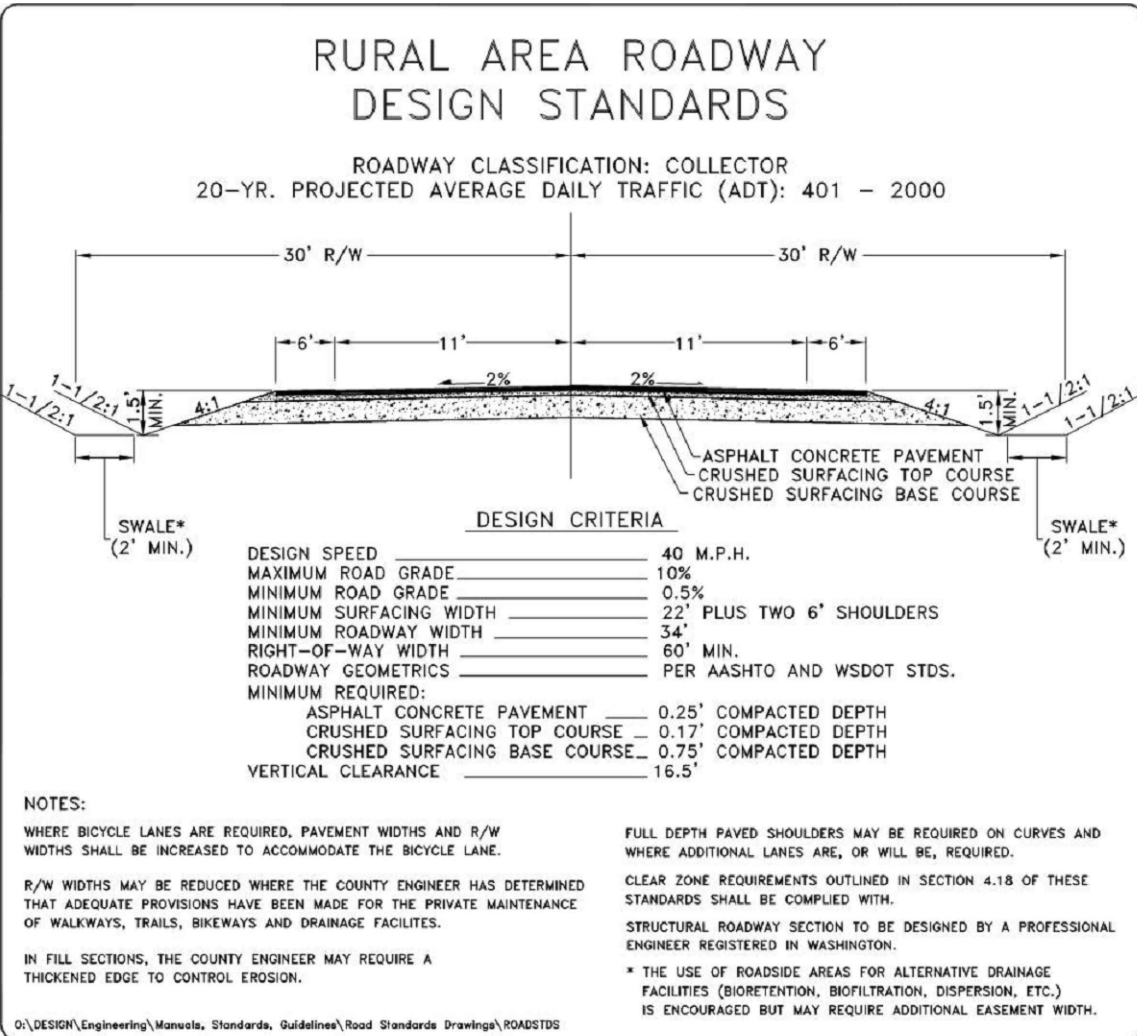
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

PRIVATE ROADWAY SECTION

APPENDIX 6 - A



LAST REVISED 7/2016

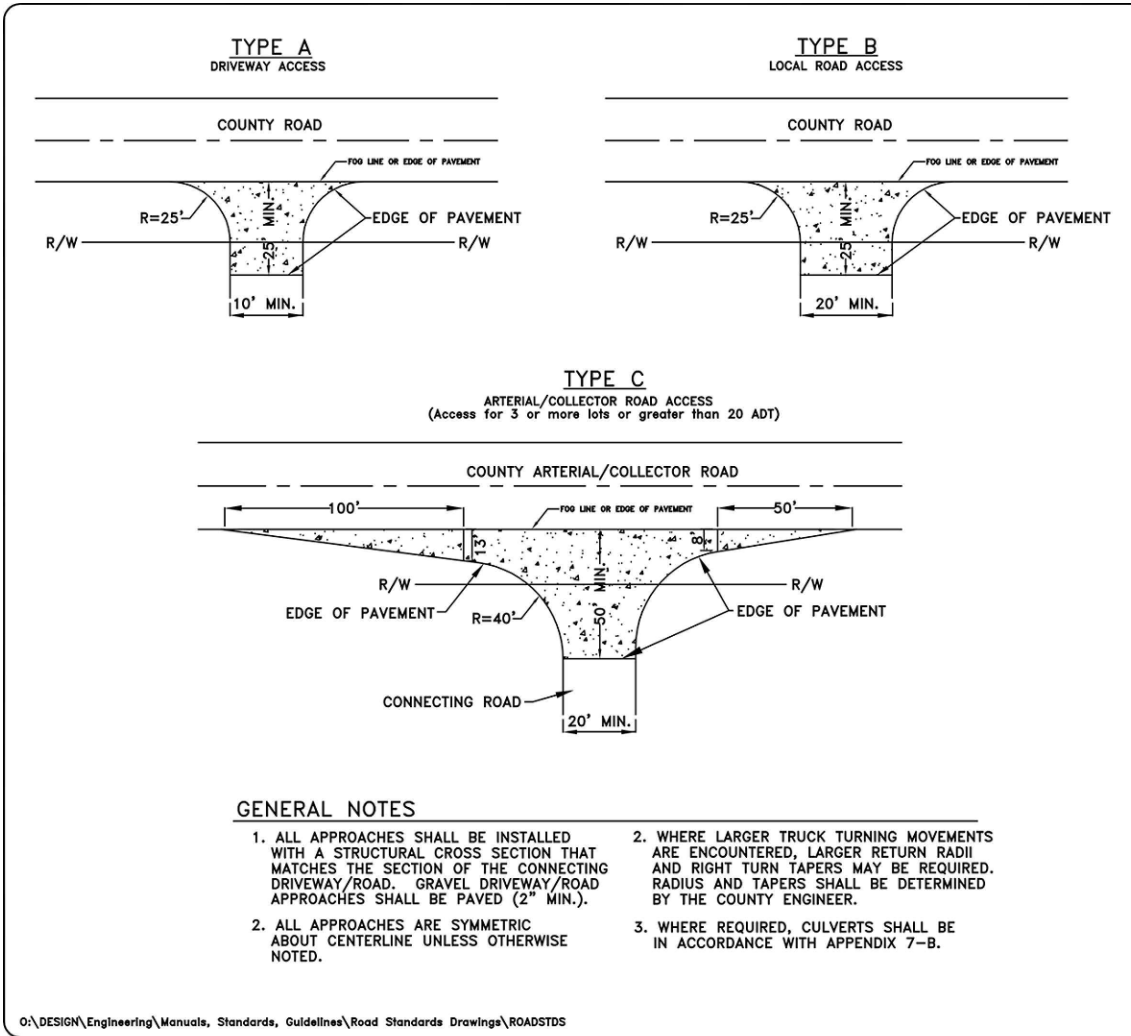
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

COLLECTOR ROADWAY STANDARDS

APPENDIX 6 - D



LAST REVISED 7/2016

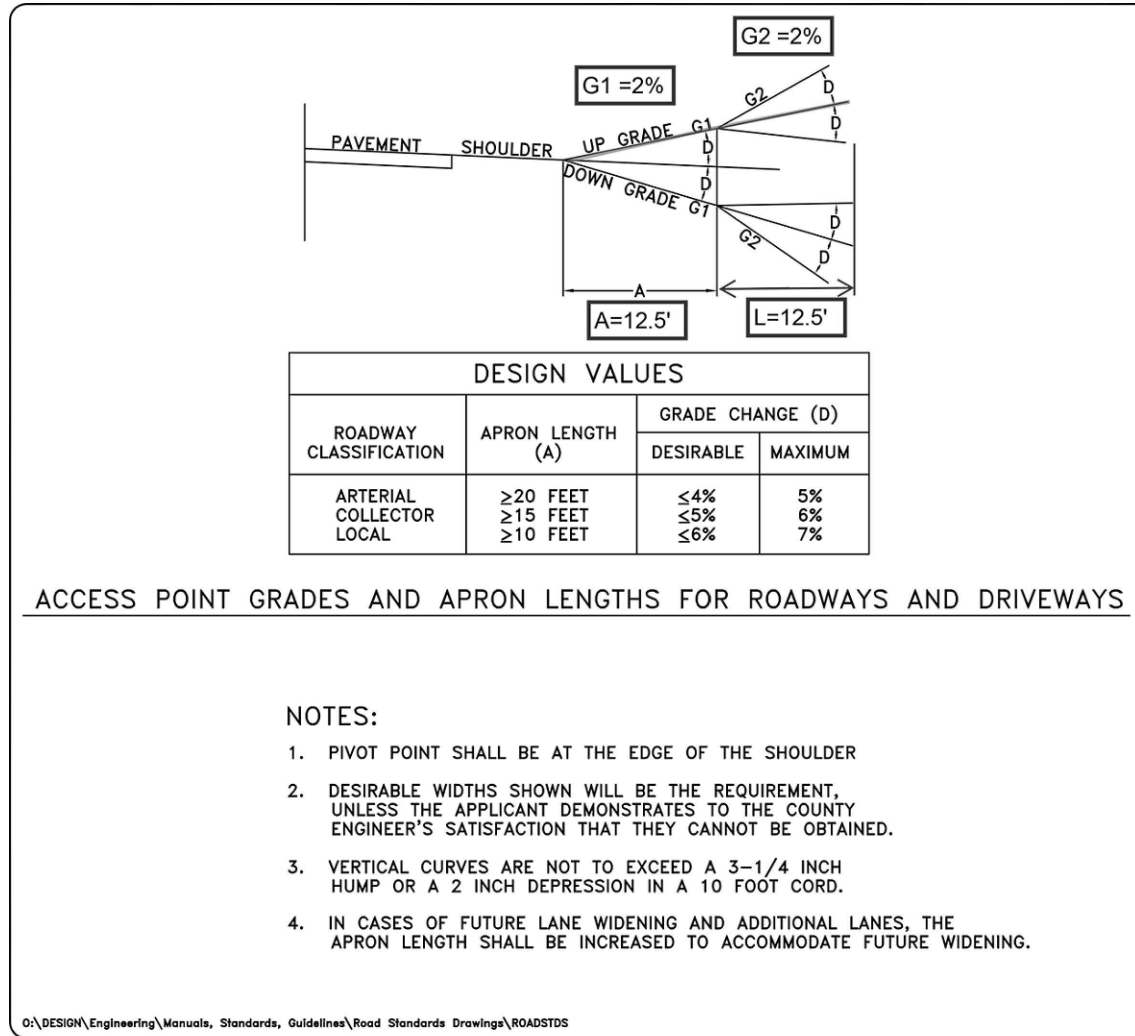
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

COUNTY ROAD ACCESSES

APPENDIX 7 - A



LAST REVISED 7/2016

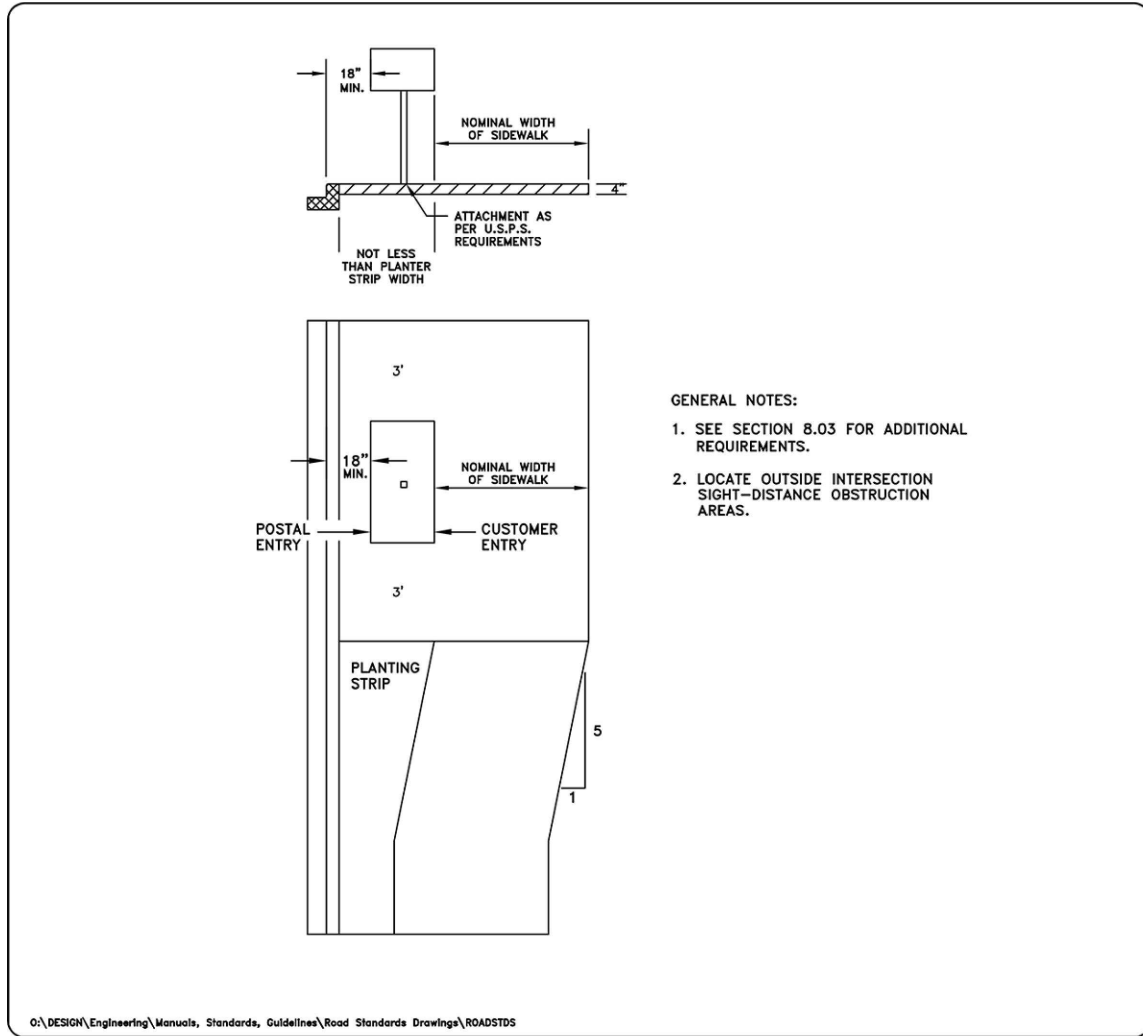
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

ACCESS POINT GRADES

APPENDIX 7 - C



LAST REVISED 7/2016

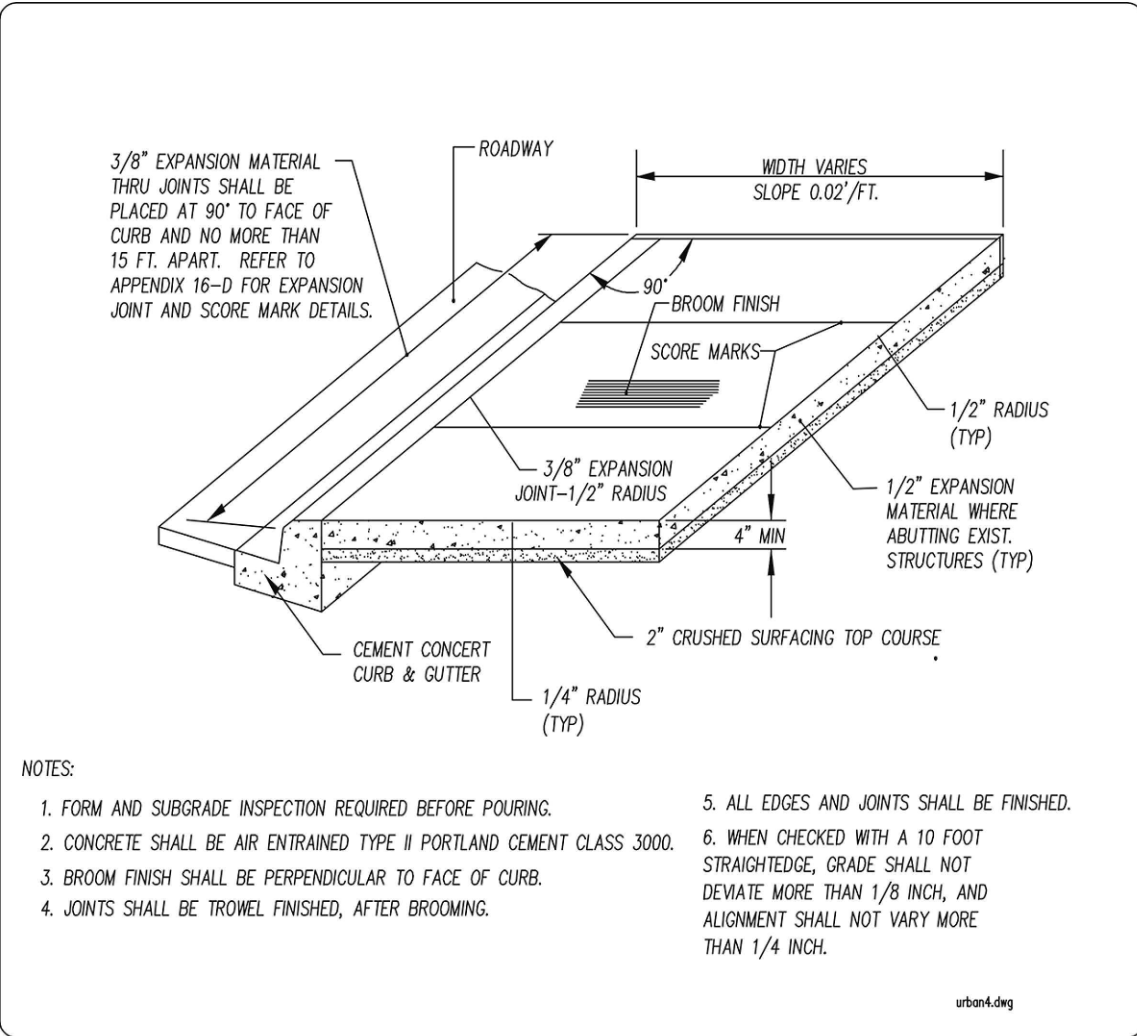
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

COMMUNITY MAIL BOX

APPENDIX 8 - B



LAST REVISED 7/2016

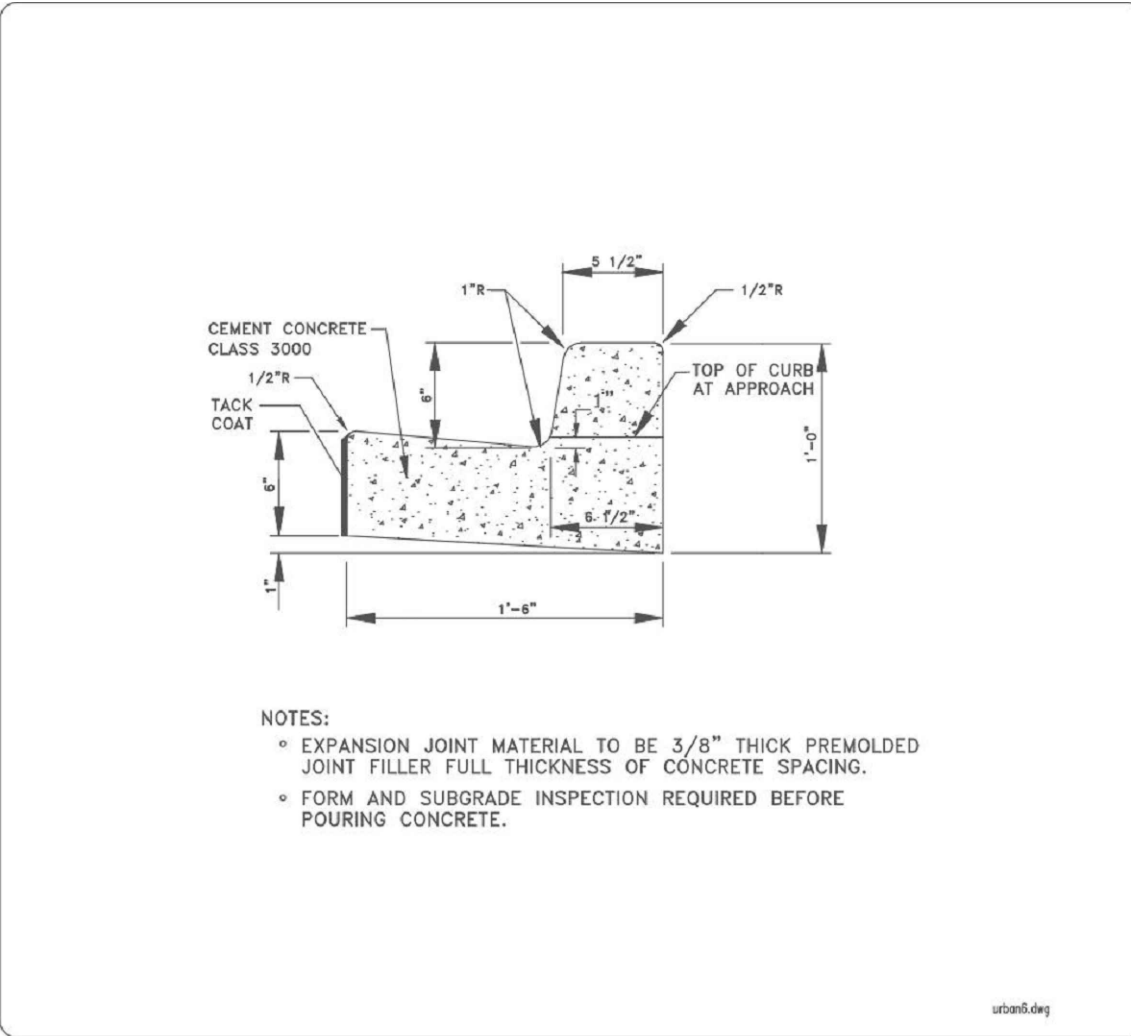
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

CEMENT CONCRETE CURB, GUTTER AND WALK

APPENDIX 16 - C



LAST REVISED 7/2016

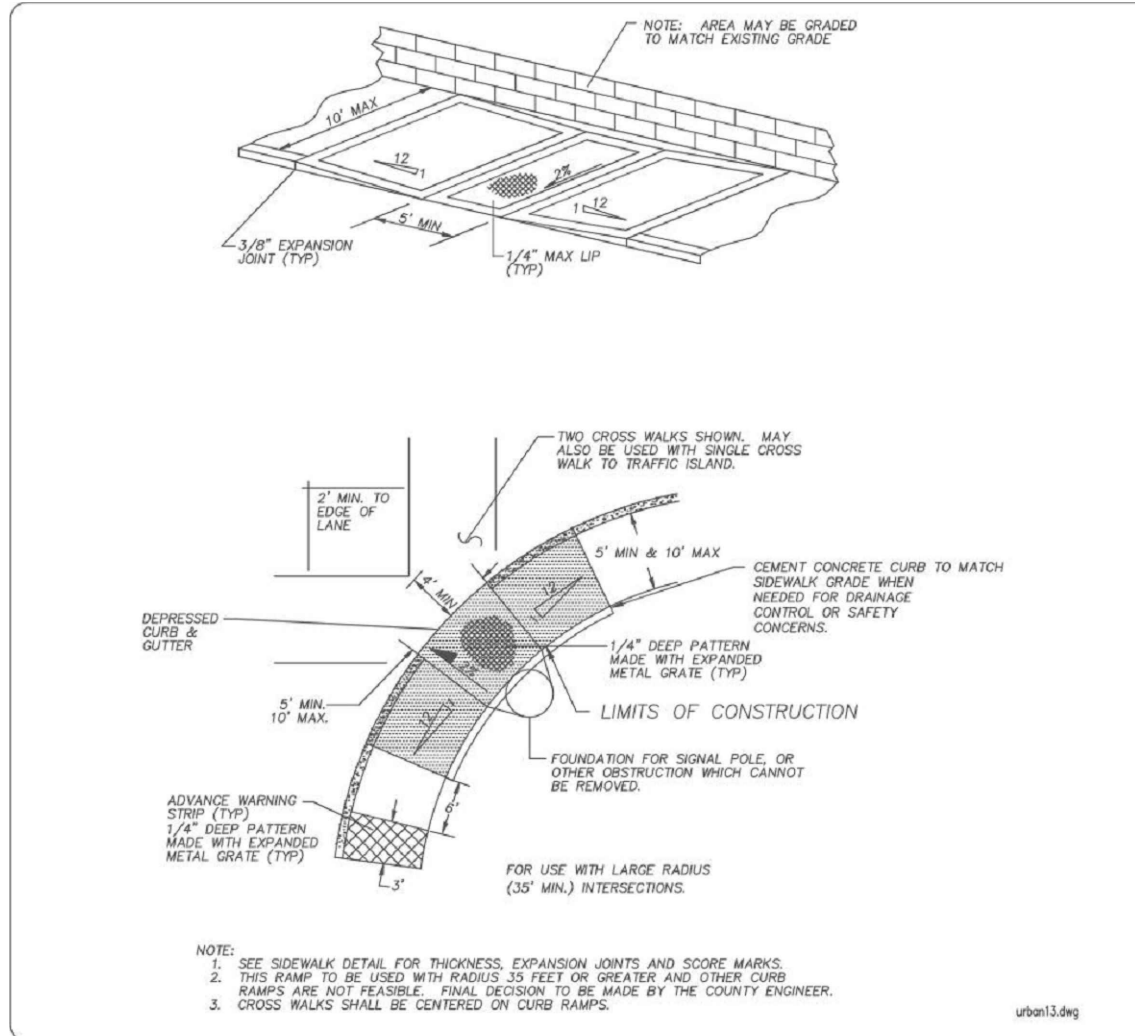
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

CEMENT CONCRETE CURB AND GUTTER

APPENDIX 16 - M



LAST REVISED 7/2016

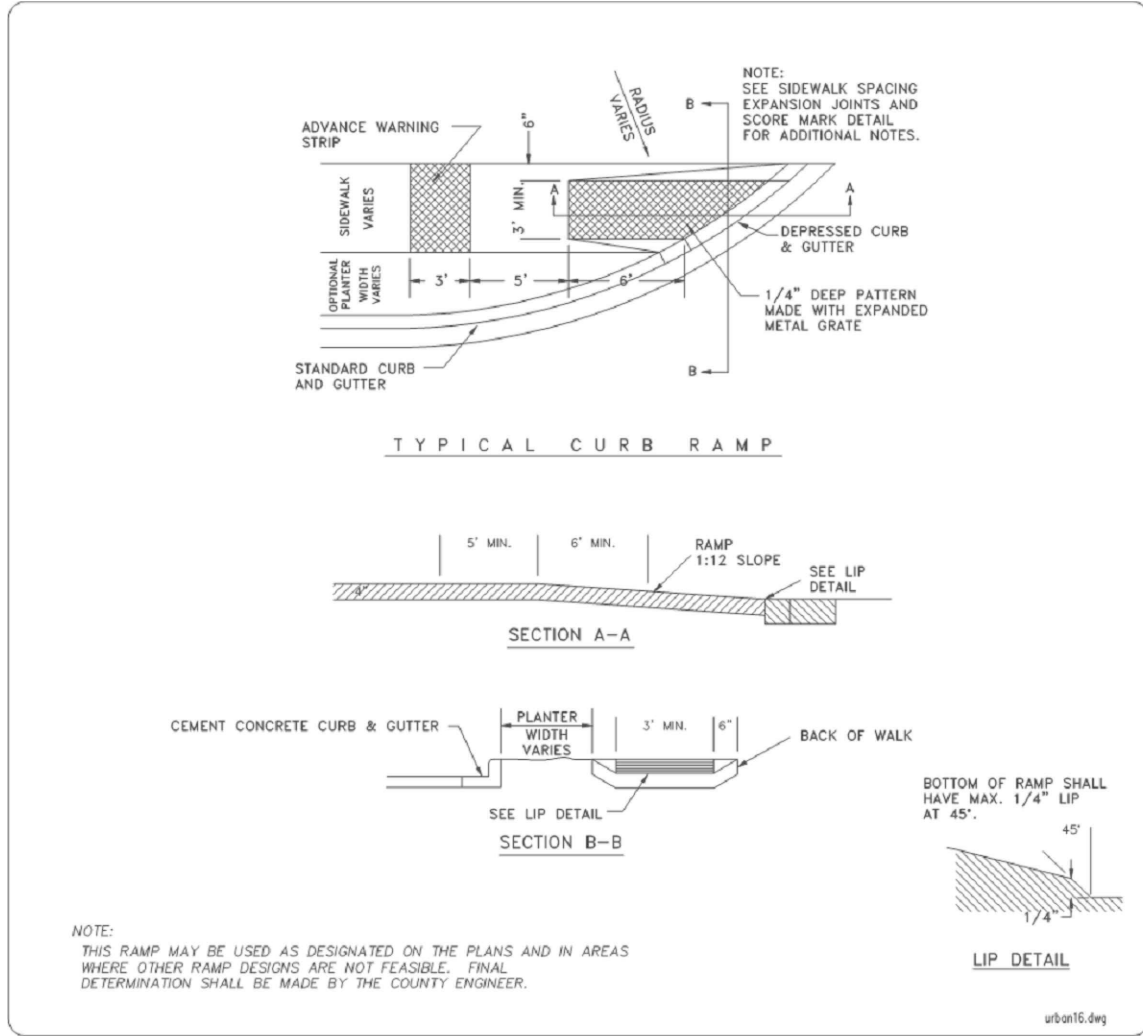
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

CURB RAMP TYPE "D1"

APPENDIX 16 - H



LAST REVISED 7/2016

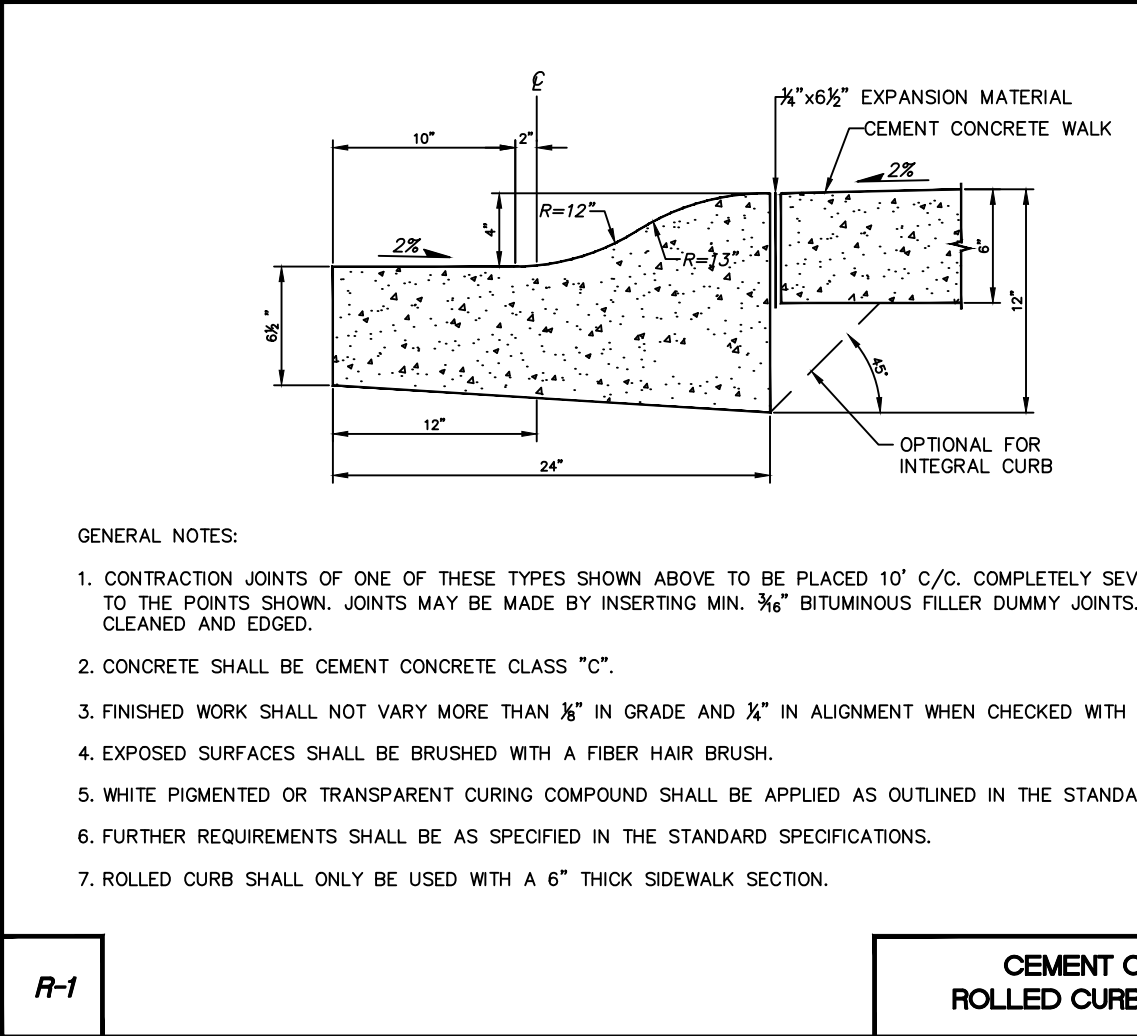
THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

CURB RAMP TYPE "F"

APPENDIX 16 - K



LAST REVISED 7/2016

THURSTON COUNTY PUBLIC WORKS

DEVELOPMENT REVIEW

ROADWAY STANDARDS

CEMENT CONCRETE ROLLED CURB AND GUTTER

APPENDIX 16 - L

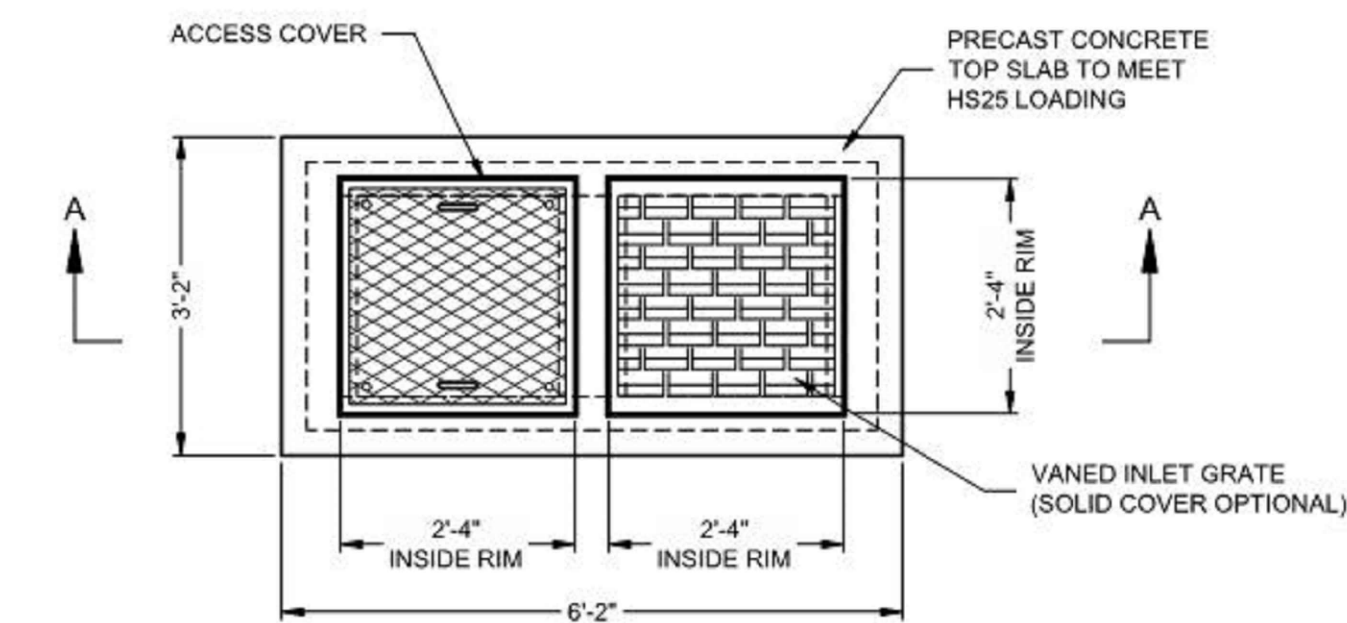
APPROVED FOR CONSTRUCTION
BY _____ DATE _____
PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____

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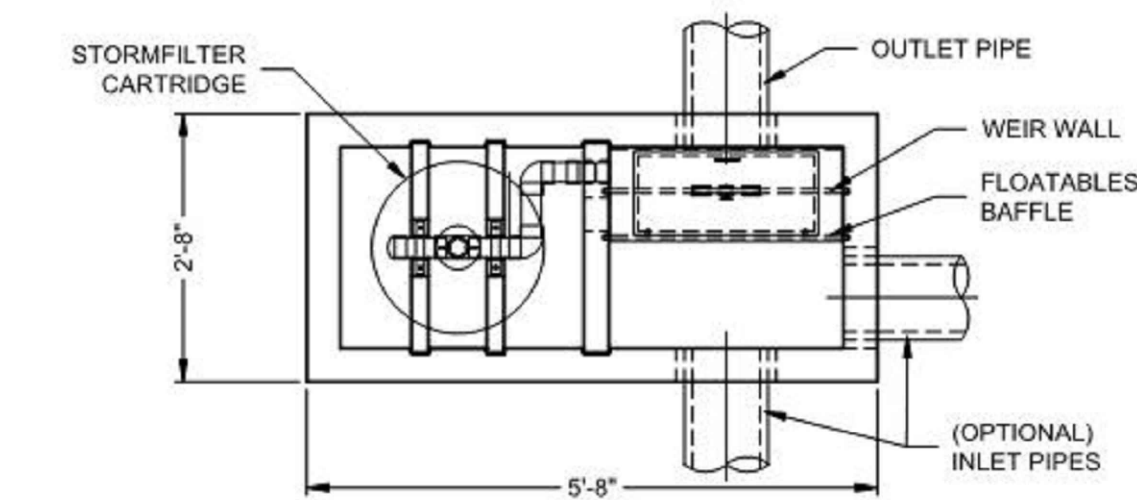


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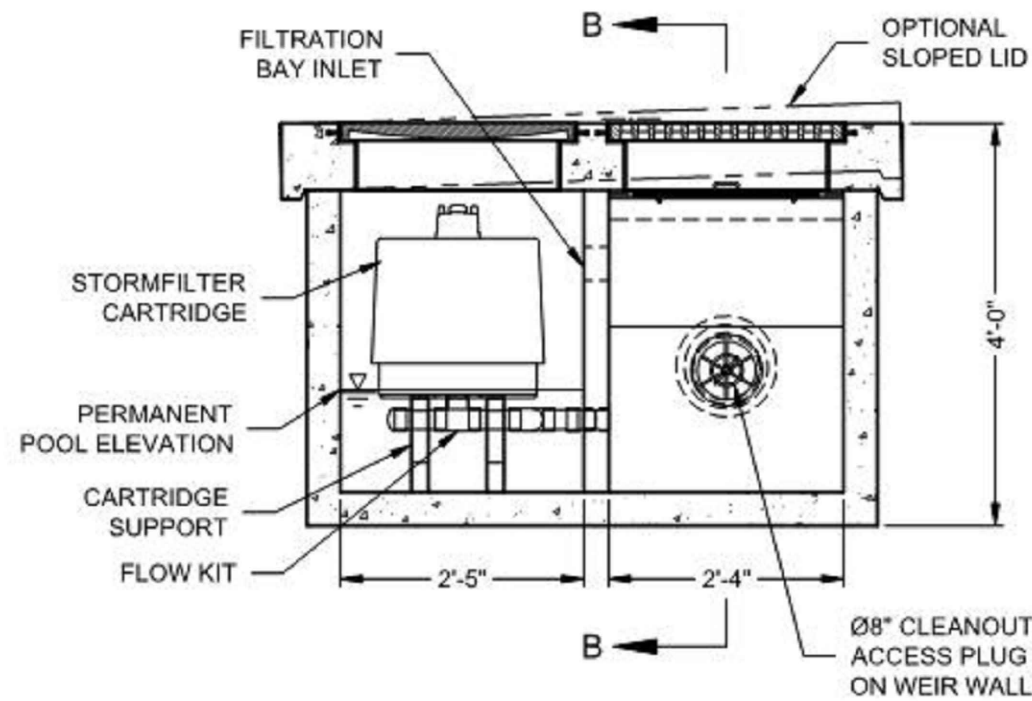
C2.4
7 OF 12



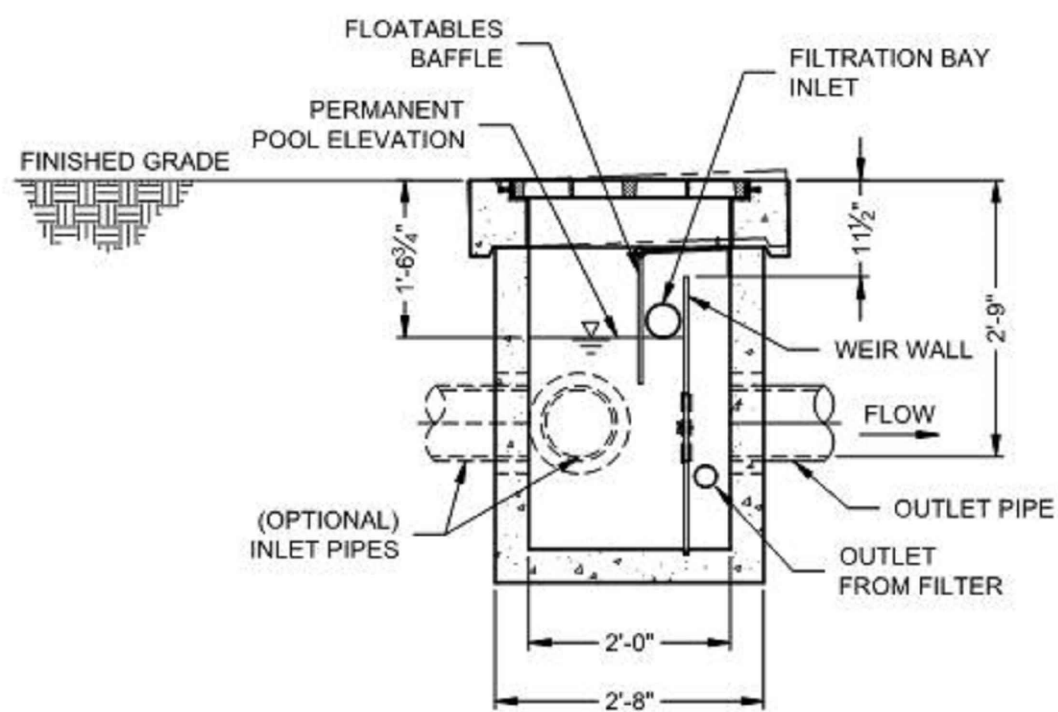
PLAN VIEW



PLAN VIEW
WITHOUT TOP SLAB



SECTION A-A



SECTION B-B

STORMFILTER CONCRETE CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE. SYSTEM IS SHOWN WITH A 18" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 27" CARTRIDGE.

PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, A DOWNSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION

CARTRIDGE HEIGHT	27"			18"			18" DEEP		
RECOMMENDED HYDRAULIC DROP (H)	3.05'			2.3'			3.5'		
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	22.5	18.79	11.25	15	12.53	7.5	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0			1.0			1.8		
INLET PERMANENT POOL LEVEL (A)	1'-7"			1'-7"			2'-4"		
OVERALL STRUCTURE HEIGHT (B)	5'-0"			4'-0"			5'-0"		

* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- CONCRETE STRUCTURE TO BE MANUFACTURED OF PRECAST CONCRETE TO MEET HS25 LOAD RATING. CASTINGS SHALL MEET AASHTO M306 LOAD RATING.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

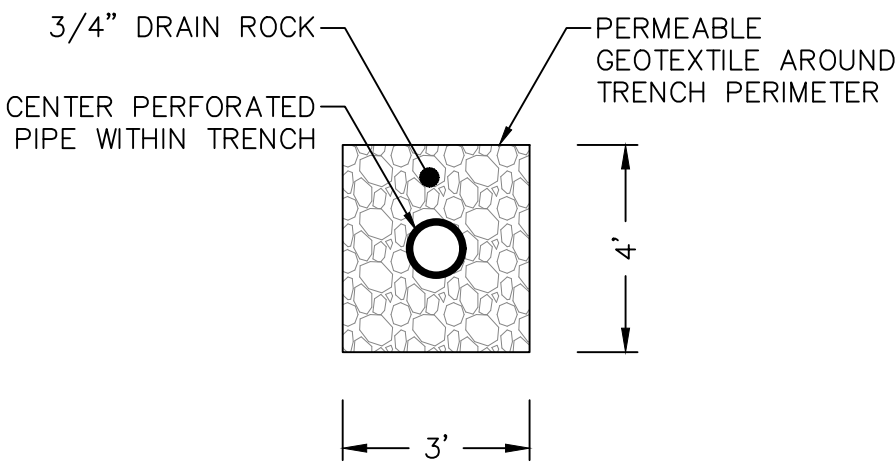
1-CARTRIDGE CATCHBASIN
STORMFILTER DATA

STRUCTURE ID	CB 1, CB 2, CB 3	
WATER QUALITY FLOW RATE (cfs)	0.03	
PEAK FLOW RATE (<1 cfs)	0.46	
RETURN PERIOD OF PEAK FLOW (yrs)	100	
CARTRIDGE HEIGHT (27", 18", 18" DEEP)	18	
CARTRIDGE FLOW RATE (gpm)	12.53	
MEDIA TYPE (PERLITE, ZPG, PSORB)	PSORB	
RIM ELEVATION	PER PLAN	

PIPE DATA:	I.E.	DIAMETER
INLET STUB	-	-
OUTLET STUB	PER PLAN	6"

CONFIGURATION	OUTLET

SLOPED LID	NO
SOLID COVER	NO
NOTES/SPECIAL REQUIREMENTS:	



TRENCH DETAIL

DRAWING TITLE:

DRAINAGE DETAILS

SCALE:

N.T.S.

DRAWN:

SD

CHECKED:

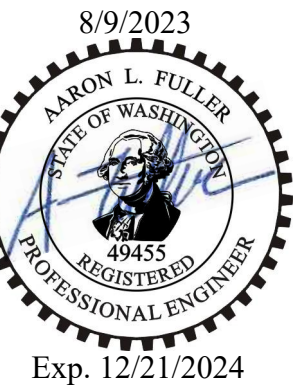
AF/SA

DATE:

07/06/23

PROJECT NAME:

DESKIN GRAND MOUND SITE



FULLER DESIGNS
1101 KRESKY AVE
CENTRALIA, WA 98531
(360) 807-4420



REV.	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	07/06/23
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APPROVED FOR CONSTRUCTION
BY _____ DATE _____
PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____

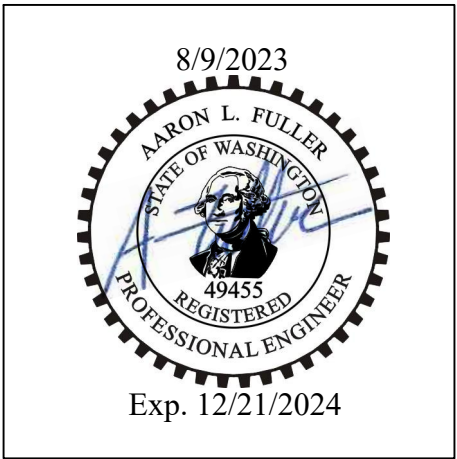
C2.5
8 OF 12

SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT

SEWER NOTES:

- (S1) CONNECT TO EXISTING 6" SS VACUUM MAIN
- (S2) INSTALL 3-INCH PVC SDR-35 SEWER MAIN PER DETAILS SS-37 & APPENDIX 6-H, SHEET C3.2
- (S3) INSTALL 8-INCH PVC SDR-35 SEWER MAIN BEDDING AND BACKFILL PER APPENDIX 6-H DETAIL, SHEET C3.2
- (S4) INSTALL VACUUM SEWER BUFFER TANK PER DETAIL SS-35, SHEET C3.2
- (S5) INSTALL TYPE 1 MANHOLE PER DETAIL SS-01, SHEET C3.2
- (S6) INSTALL SANITARY SEWER SERVICE LINE PER DETAIL SS-06, SHEET C3.2

DRAWING TITLE: SEWER PLAN AND PROFILE		CHECKED: AF/SA
		DATE: 07/06/23
SCALE: 1:40	DRAWN: SD	PROJECT NAME: DESKIN GRAND MOUND SITE



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CENTRALIA, WA 98531

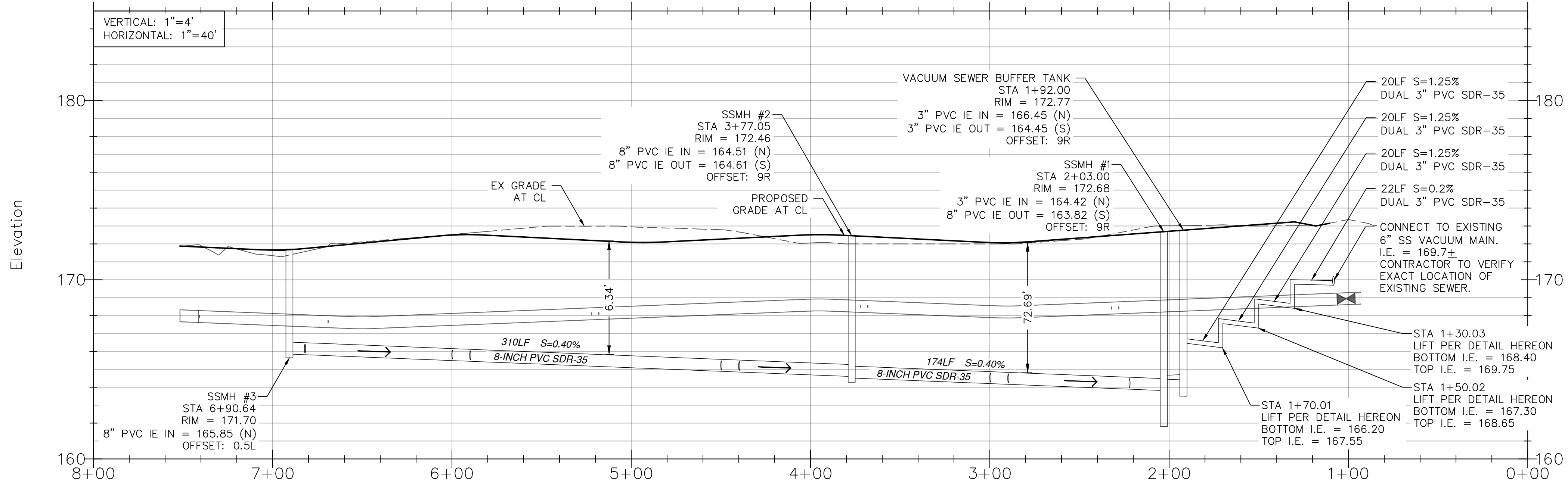
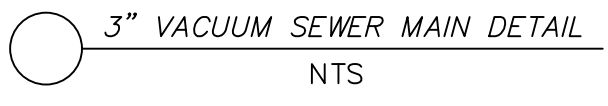
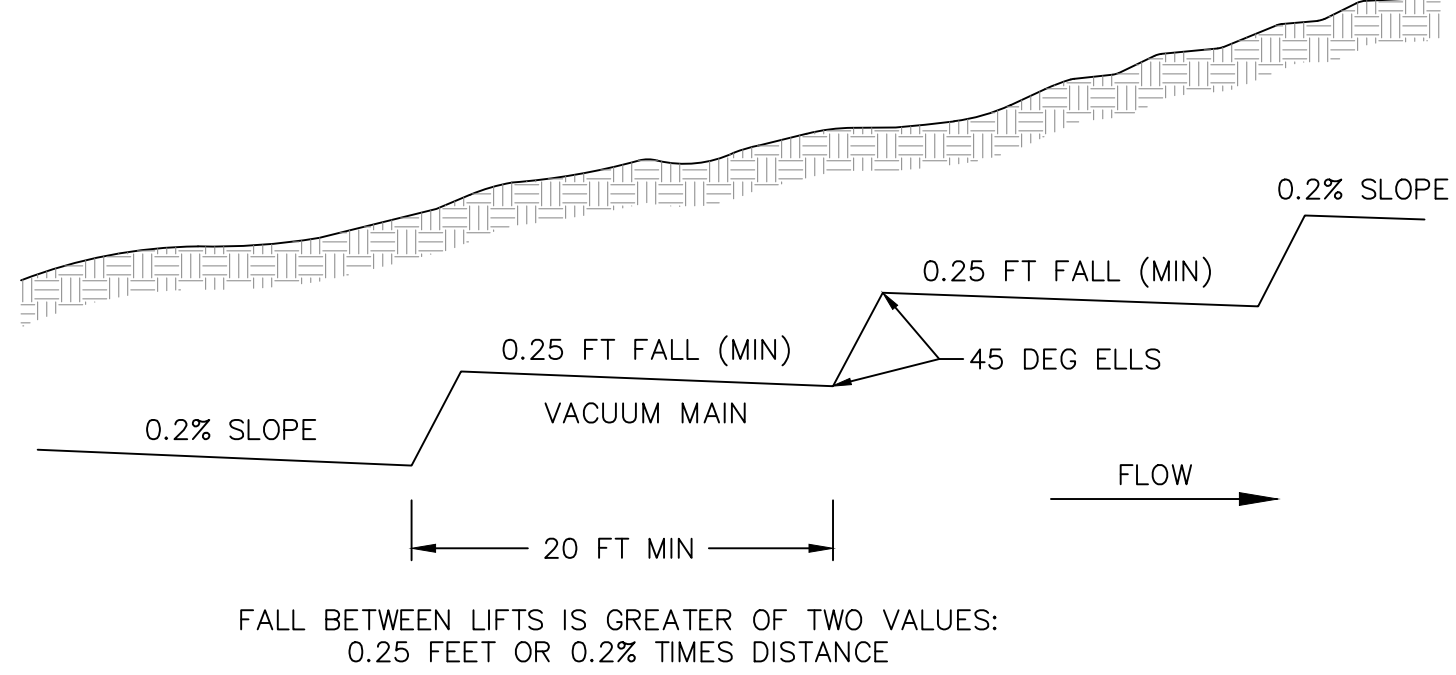
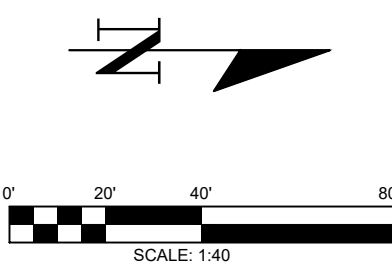
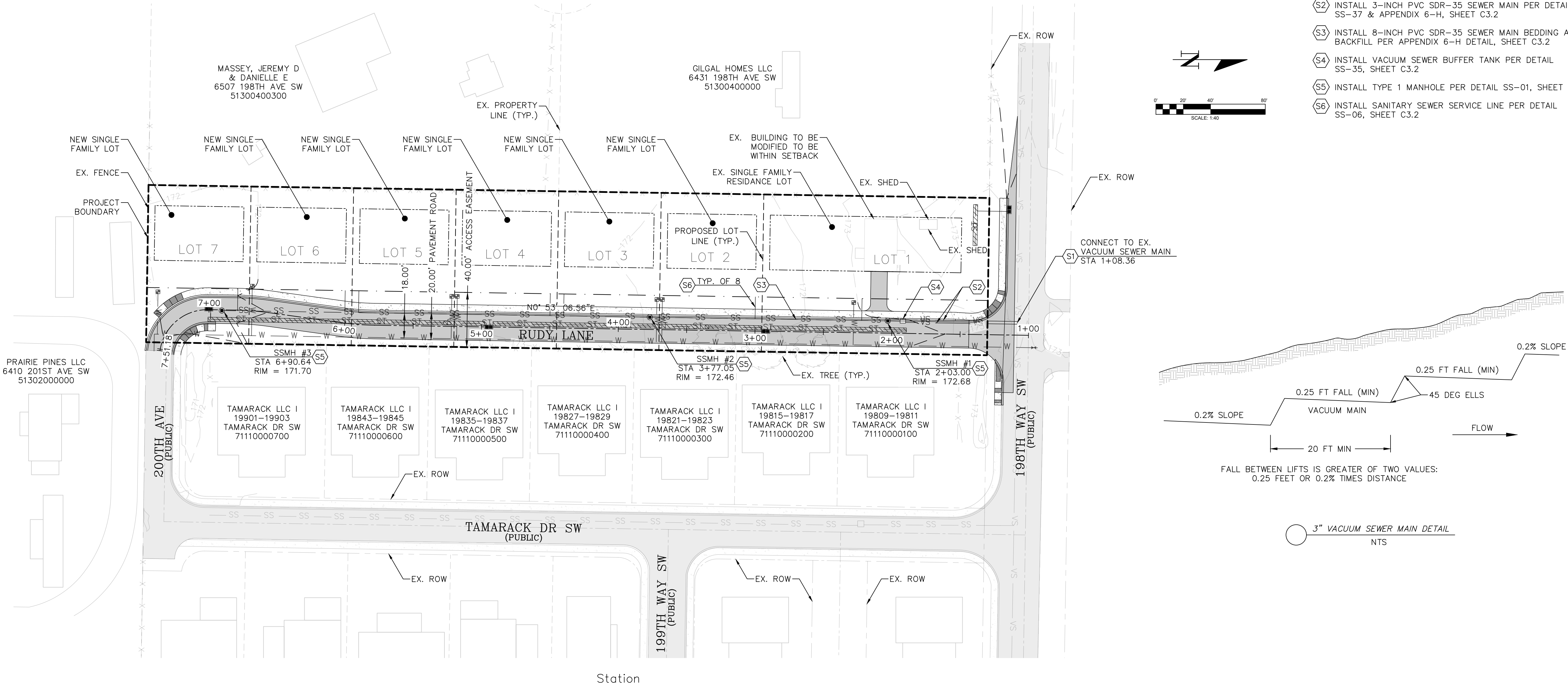
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C3.1

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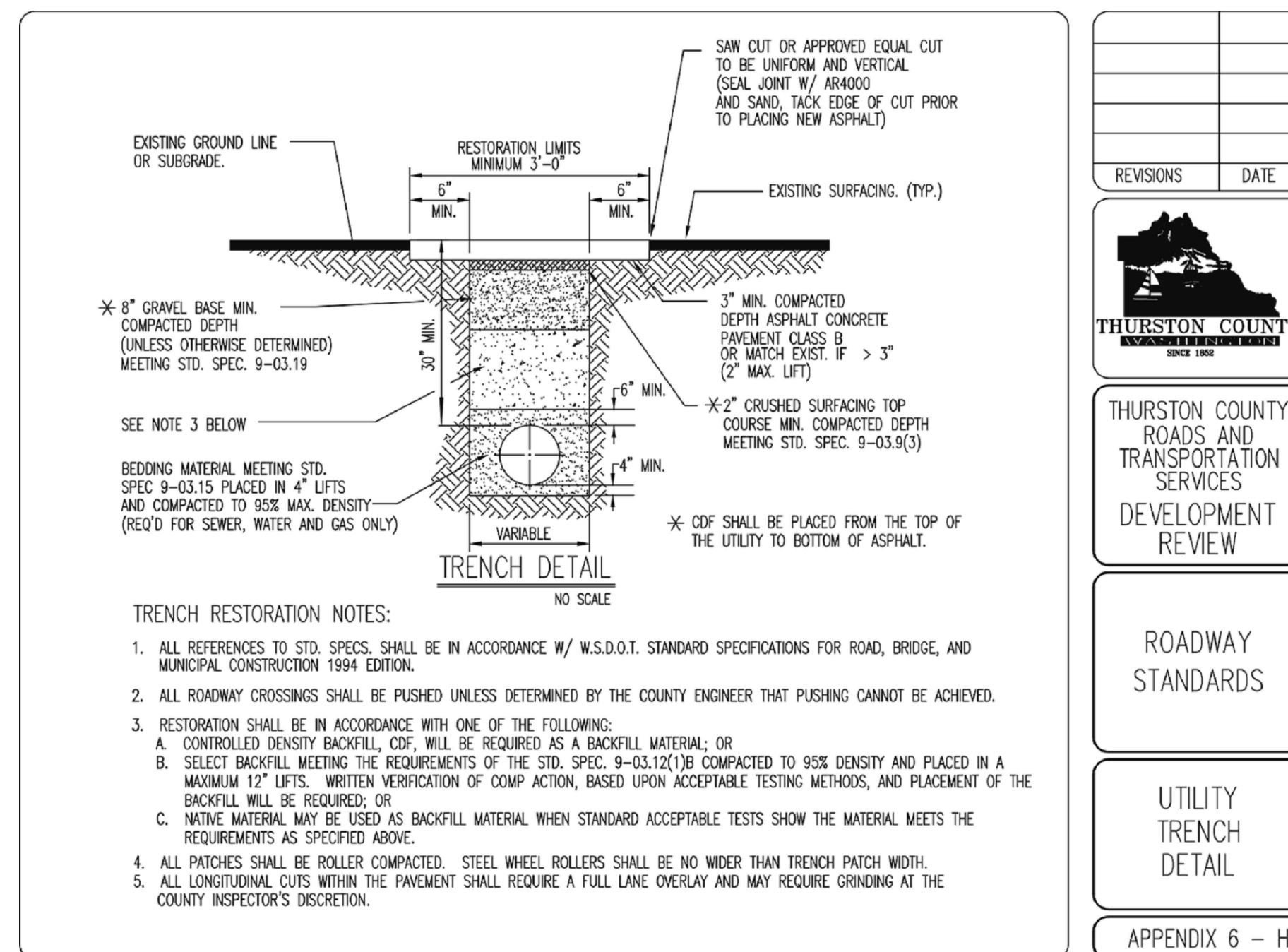
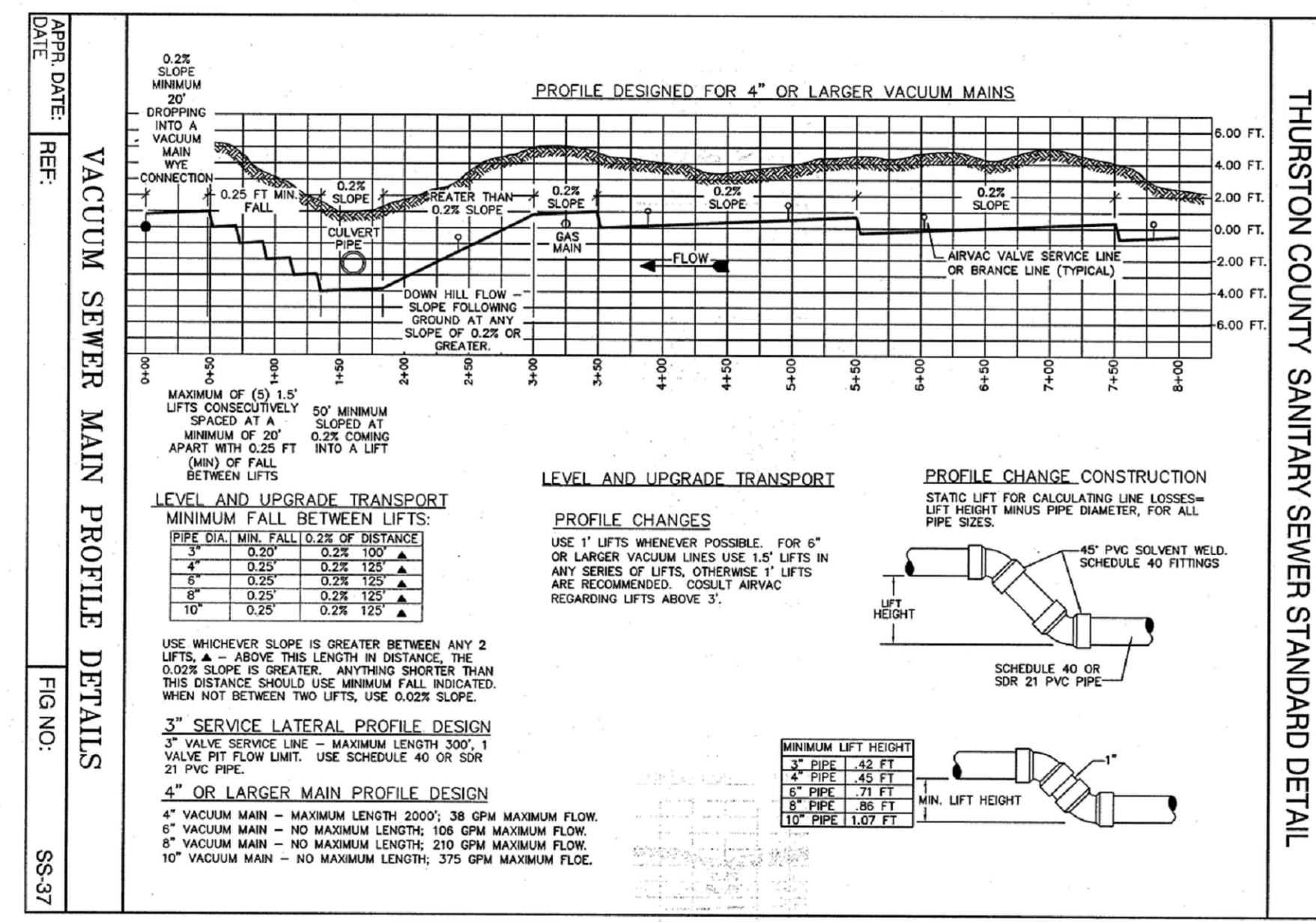
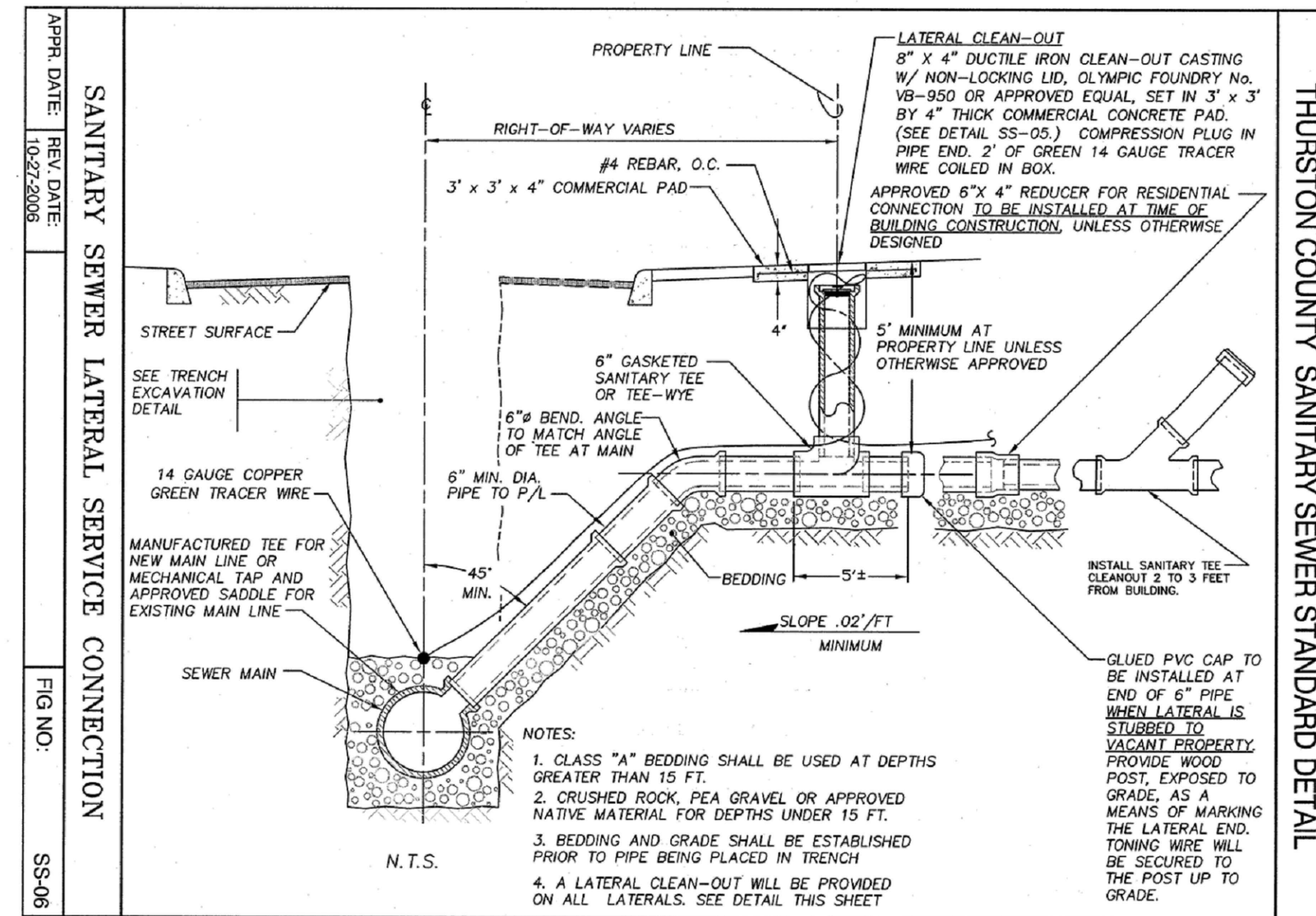
APPROVED FOR CONSTRUCTION

BY _____ DATE _____

PUBLIC WORKS DEPARTMENT OR DESIGNATED CONSULTANT

APPROVAL EXPIRES: _____

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SCALE:	N.T.S.	DATE:	07/06/23	DRAWN:
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PROJECT NAME:			CHECKED:	
			AF/SA	
DESKIN GRAND MOUND SITE				



REVISIONS	DATE




THURSTON COUNTY
ROADS AND
TRANSPORTATION
SERVICES
DEVELOPMENT
REVIEW

ROADWAY
STANDARDS

UTILITY
TRENCH
DETAIL

APPENDIX 6 –

8/9/2023



Exp. 12/21/2024

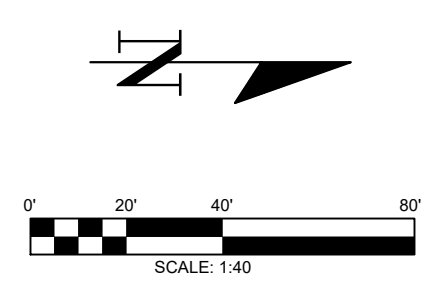
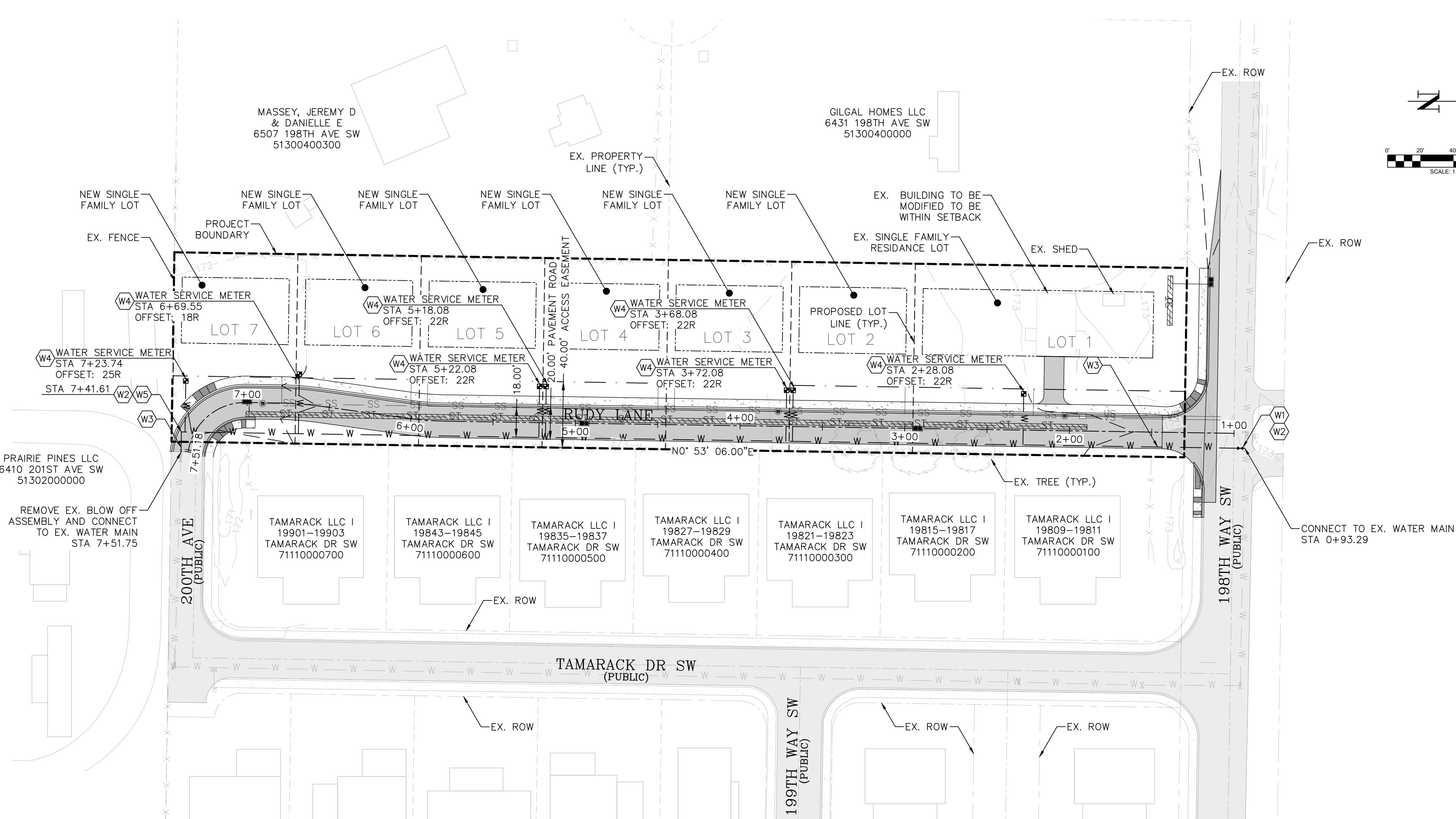
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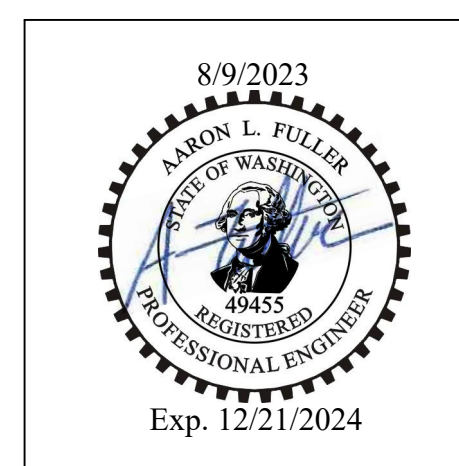
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BY _____	DATE _____
PUBLIC WORKS DEPARTMENT OR DESIGNATED CONSULTANT	
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SECTION 11 TOWNSHIP 15 RANGE 3W QUARTER NE SE PLAT

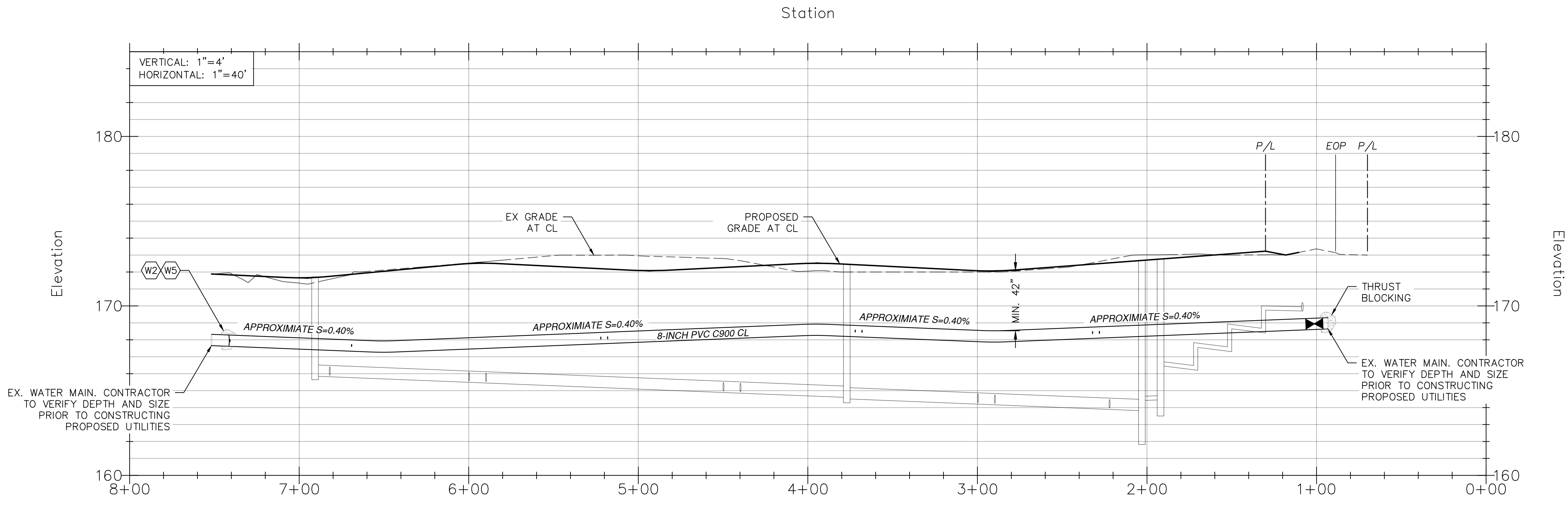


- SEWER NOTES:**
- (W1) INSTALL 1-8" TAPPING GATE VALVE (FL X MJ) PER DETAIL WA-02, SHEET C4.2
 - (W2) INSTALL THRUST BLOCK PER DETAIL WA-17, SHEET C4.2
 - (W3) INSTALL 8-INCH PVC C900 CL 200 WATER MAIN PER DETAIL APPENDIX 6-H, SHEET C4.2
 - (W4) INSTALL 3/4" WATER SERVICE & METER PER DETAIL WA-12, SHEET C4.2
 - (W5) INSTALL 90 DEGREE D.I. BEND PER DETAIL WA-17, SHEET C4.2

DRAWING TITLE: WATER PLAN AND PROFILE		CHECKED: AF/SA
		DATE: 07/06/23
SCALE: 1:40	DRAWN: SD	PROJECT NAME: DESKIN GRAND MOUND SITE



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PUBLIC WORKS DEPARTMENT OR
DESIGNATED CONSULTANT
APPROVAL EXPIRES: _____

REV:	DESCRIPTION:	DATE:
0	ISSUED FOR CONSTRUCTION	07/06/23
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DRAWING TITLE:				
WATER DETAILS				
SCALE:	N.T.S.	DATE:	07/06/23	DRAWN:
				SD
PROJECT NAME:		CHECKED:		
		AF/SA		
DESKIN GRAND MOUND SITE				

